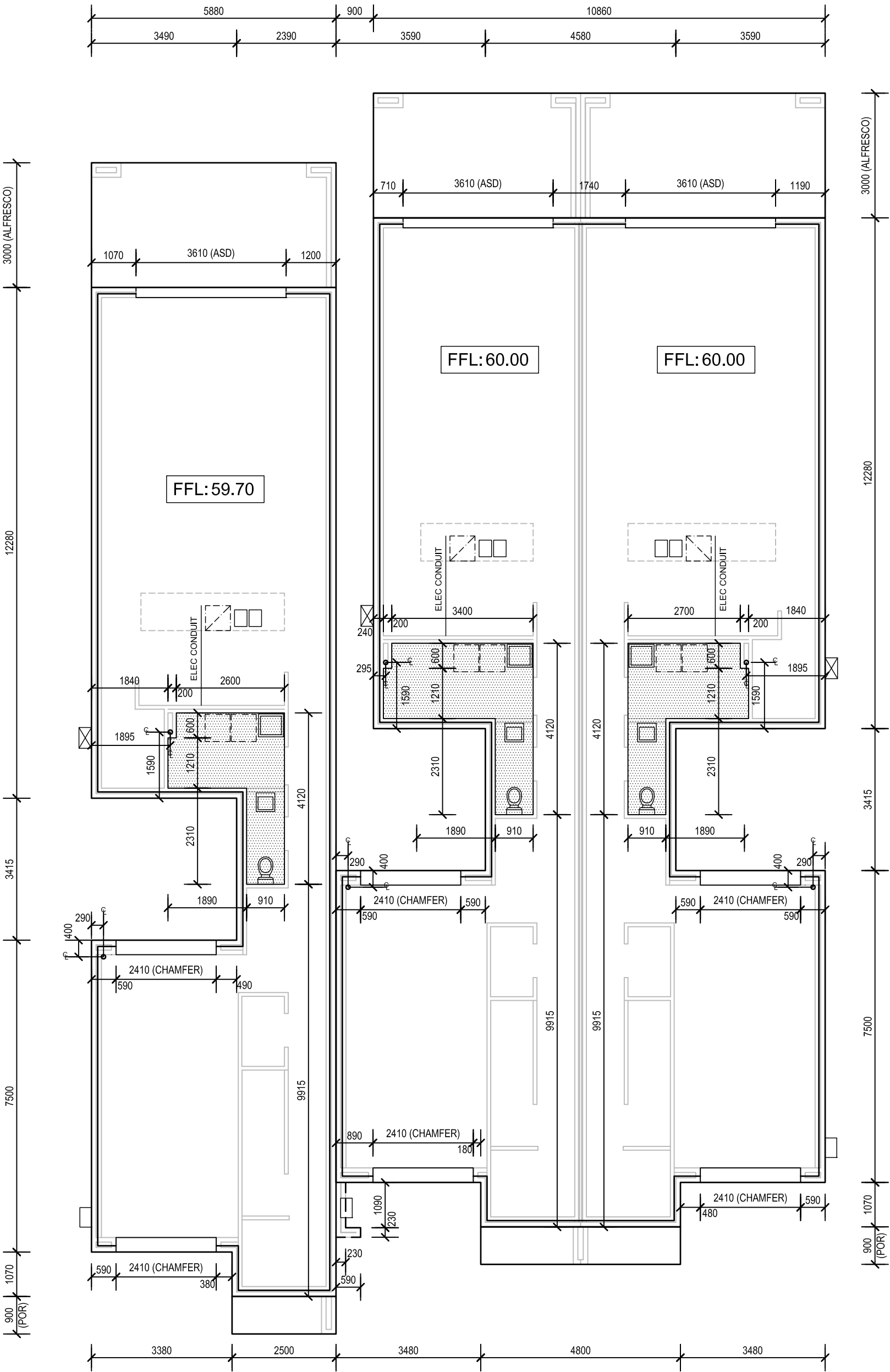


FOR CERTIFICATION ONLY



WET AREA NOTES:

SET DOWN SHOWER AREAS
50mm. SCREED WITH
REQUIRED FALL TO FLOOR
TRAP

SET DOWN WET AREAS 30mm.
SCREED WITH REQUIRED
FALL TO FLOOR TRAP

CONCRETOR'S NOTE:

ALLOW FOR SUB-FLOOR
STORMWATER PIPES PRIOR
TO POURING OF SLAB.

86mm EDGE REBATE TO
PERIMETER OF HOUSE
AND TO GARAGE

FOOTING EDGE IS TO BE
EXPOSED A MINIMUM OF
75mm ABOVE PAVING LEVEL
OR ALTERNATIVE PERIMETER
TERMITE TREATMENT IS
REQUIRED.

PROVIDE ELECTRICAL
CONDUIT UNDER SLAB TO
KITCHEN ISLAND BENCH FOR
DISHWASHER POWER POINTS

TERMITE TREATMENT:

TERMITE RISK MANAGEMENT
IS TO COMPLY WITH PART
3.1.3 BCA 2015 WHERE THE
CONCRETE SLAB ON GROUND
IS TO BE AS PART OF A
TERMITE BARRIER SYSTEM,
THE SLAB MUST BE
DESIGNED & CONSTRUCTED
TO COMPLY WITH AS
2870-2011

SLABS MUST HAVE
PENETRATIONS, CONTROL
JOINTS AND THE PERIMETER
PROTECTED

THE SLAB ON GROUND MAY
BE USED AS PERIMETER
PROTECTION PROVIDED
THAT THE SLAB IS EXPOSED
75 mm ABOVE FINISHED
GROUND LEVEL AND THE
SLAB EDGE DOES NOT
HONEYCOMBED, ROUGH OR
CONTAIN RIPPLES

CHEMICAL TERMITICIDE TO
UNDERSIDE OF CONCRETE
SLAB IN A/W AS 3660.1-2014
(BIFLEX OR SIMILAR)

STAINLESS STEEL MESH
BARRIER EITHER FULL OR
PARTIAL PROTECTION
(TERMIMESH OR SIMILAR)

NOTE: BUILDER TO SELECT IN
CONSULTATION WITH OWNER

AMENDMENTS

REV	DATE	DESCRIPTION	DRAWN

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
AT:
5 ATHOS PLACE
PARADISE, SA 5075

CLIENT
SOFIA TATARELLI

DRAWN
F.B./G.D. DATE
SEP 2019

SCALE
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PROJECT No.
23.2018 SHEET No.
02 OF 18

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND
LEVELS ON SITE BEFORE COMMENCING ANY WORK OR
MAKING SHOP DRAWINGS. FIGURED DIMENSIONS
SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS
AND ANY DISCREPANCY SHALL BE REPORTED TO THE
DESIGNERS IMMEDIATELY

CONCRETE SLAB FLOOR PLAN
1:100

ENERGY RATING NOTES:

REFER TO ENERGY RATING REPORT FOR INSULATION DETAILS AND LOCATIONS

EXTERNAL SWING DOORS TO BE FITTED WITH DRAUGHT PROTECTION DEVICE TO BOTTOM EDGE OF EACH LEAF.

HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION 6A OF AS/NZS 3500.4.2 OR CLAUSE 3.38 OF AS/NZS 3500.5

GLAZING TO WINDOWS AND GLAZED DOORS AS PER ENERGY REPORT.

NOTE:

SC - STEEL COLUMN (REFER TO ENGINEERS DETAILS)

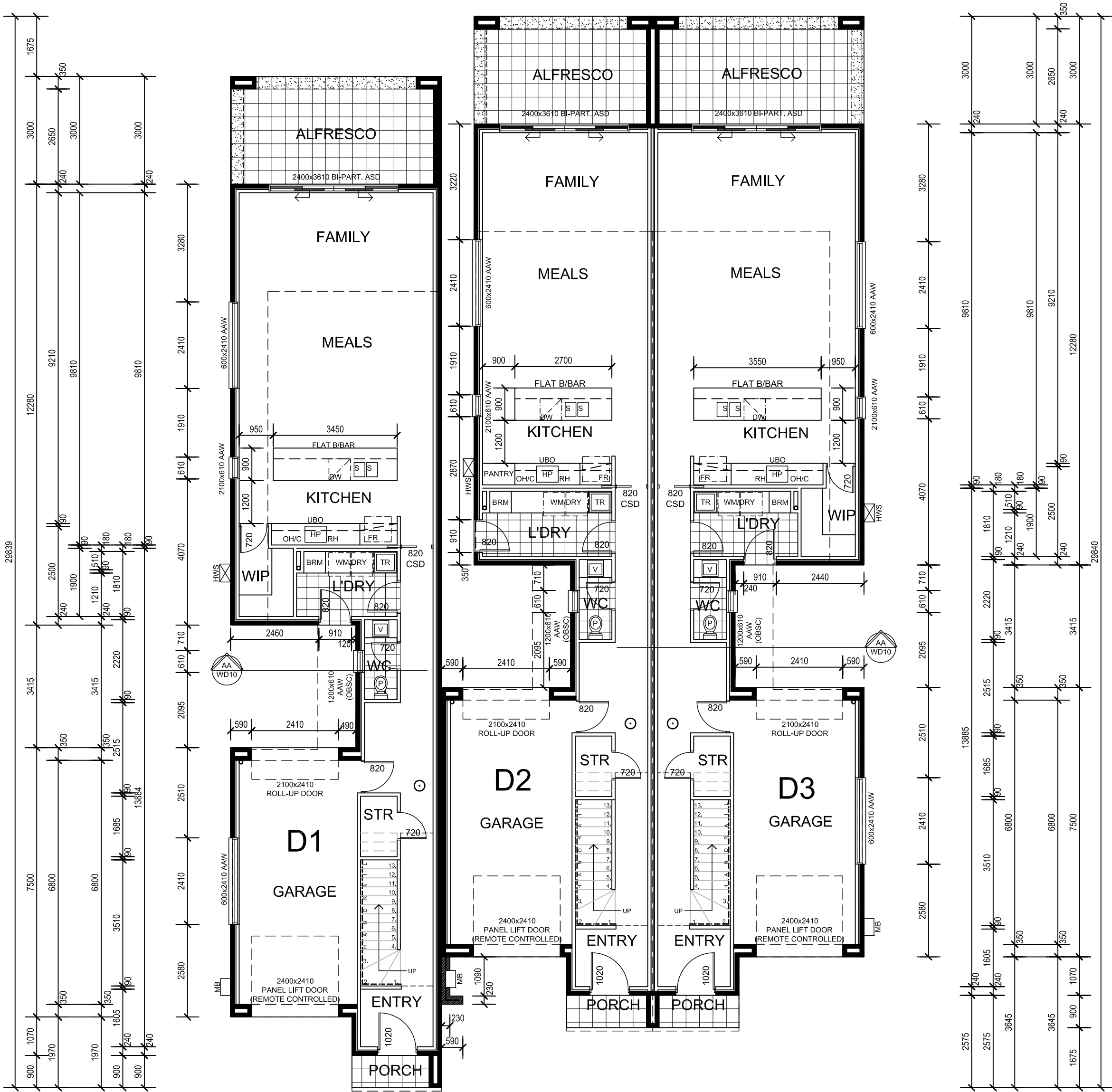
SB - STEEL BEAM (REFER TO ENGINEERS DETAILS)

AS 1288 PROVIDE 5mm TOUGHENED GLASS TO ALL SLIDING DOORS AND WINDOW ABOVE BATH WITH 3mm FLOAT GLASS TO REMAINDER

○ DENOTES SMOKE DETECTOR HARD WIRED IN ACCORDANCE WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED AS PER PART 3.7.2.2(d) OF THE BCA

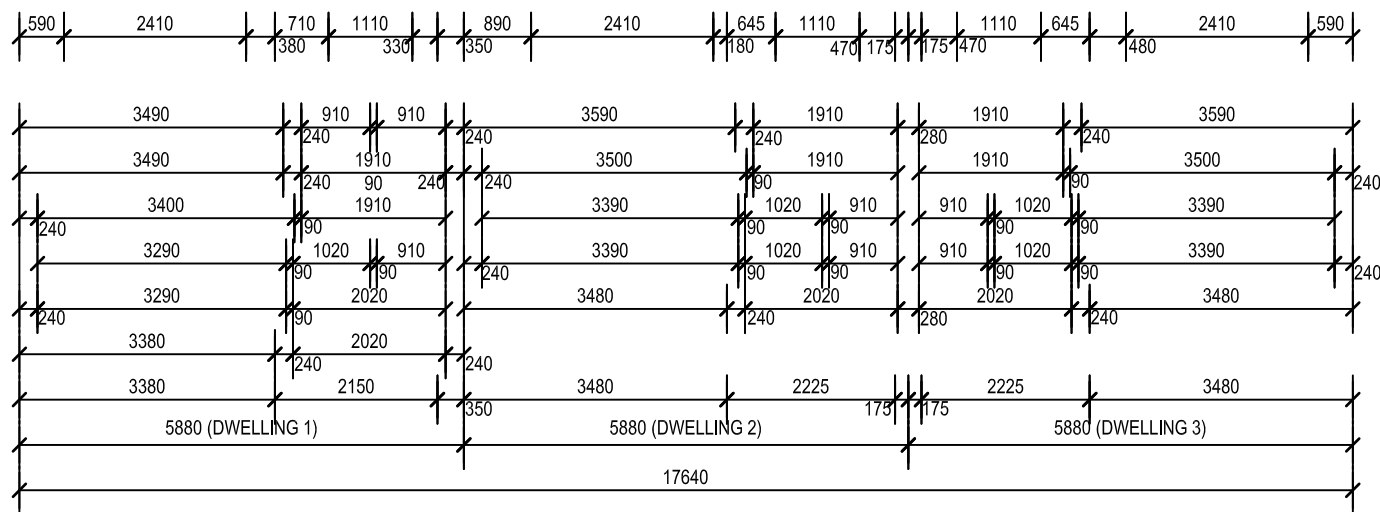
Φ DENOTES VERTICAL CONTROL JOINTS IN ACCORDANCE WITH ENGINEERS DETAILS.

W.C. DOOR TO BE EASILY REMOVABLE FROM OUTSIDE OF THE COMPARTMENT



NOTE:

ALL WINDOWS AND DOORS TO LOWER LEVEL TO BE @ 2.4 HEAD HEIGHT (HH) UNLESS NOTED OTHERWISE



DWELLING 1	
AREAS:	
LIVING - GROUND	100.52m²
LIVING - FIRST	105.52m²
ALFRESCO	17.64m²
GARAGE	26.61m²
PORTICO	2.24m²
TOTAL	252.53m²

DWELLING 2	
AREAS:	
LIVING - GROUND	88.32m²
LIVING - FIRST	106.11m²
ALFRESCO	14.94m²
GARAGE	27.31m²
PORTICO	2.15m²
TOTAL	238.83m²

DWELLING 3	
AREAS:	
LIVING - GROUND	99.32m²
LIVING - FIRST	105.80m²
ALFRESCO	17.64m²
GARAGE	27.36m²
PORTICO	2.15m²
TOTAL	252.27m²



LOWER FLOOR PLAN

SCALE 1:100

AMENDMENTS			
REV	DATE	DESCRIPTION	DRAWN

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT

AT:
5 ATHOS PLACE
PARADISE, SA 5075

CURT
SOFIA TATARELI

DRAWN
F.B./G.D

DATE
SEP 2019

SCALE
1:100@A2

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PROJECT No.
23.2018

SHEET No.
03 OF 18

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY.

NOTE:
STAIRS AND BALUSTRADES TO BE CONSTRUCTED IN ACCORDANCE WITH "STAIR-LOCK" OR EQUALLY APPROVED MANUFACTURER.

NOTE:
TREADS TO HAVE SURFACE OR NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 3.9.1.3 WHEN TESTED IN ACCORDANCE WITH AS4586

MANUFACTURERS STAIRS ARE TO COMPLY WITH PART 3.9.1 OF BCA-2019

MAX. 18 RISERS TO EACH FLIGHT, RISER MUST NOT ALLOW 125 SPHERE TO PASS THROUGH RISER DIMENSIONS:

- GOING DIMENSIONS:
- SLOPE RELATIONSHIP:

STAIR BALUSTRADE / HANDRAIL HEIGHT - MIN. 865 mm

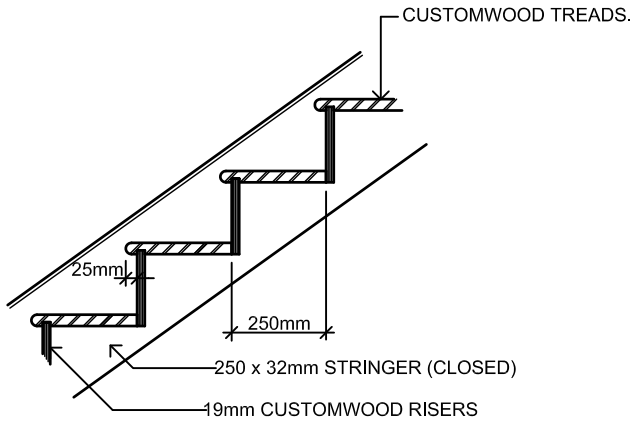
LANDING BALUSTRADE / HANDRAIL HEIGHT - MIN. 1000 mm

BALUSTRADE MUST NOT ALLOW 125 SPHERE TO PASS THROUGH, STAIRS TO HAVE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP

GROUND LEVEL - FIRST LEVEL

CHECK ON SITE PRIOR TO CONSTRUCTION

F / FLOOR HEIGHT 3122mm
RISERS 17 @ 183.64mm
GOES 16 @ 250mm



TYPICAL STAIR DETAIL
SCALE 1:100

NOTE:
SC - STEEL COLUMN (REFER TO ENGINEERS DETAILS)

SB - STEEL BEAM (REFER TO ENGINEERS DETAILS)

AS 1288 PROVIDE 5mm TOUGHENED GLASS TO ALL SLIDING DOORS AND WINDOW ABOVE BATH WITH 3mm FLOAT GLASS TO REMAINDER

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⌀ DENOTES VERTICAL CONTROL JOINTS IN ACCORDANCE WITH ENGINEERS DETAILS.

W.C. DOOR TO BE EASILY REMOVABLE FROM OUTSIDE OF THE COMPARTMENT

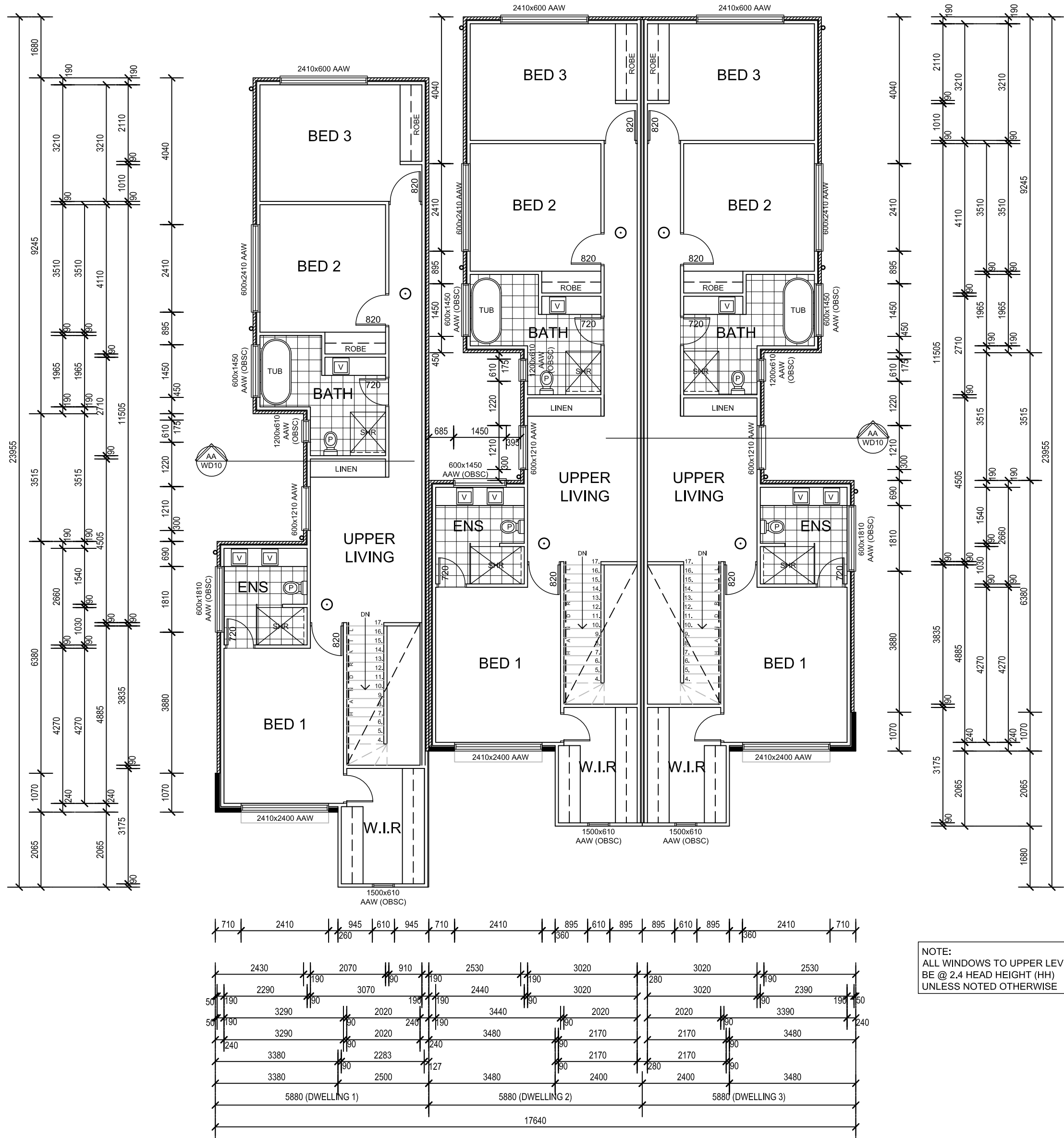
ENERGY RATING NOTES:

REFER TO ENERGY RATING REPORT FOR INSULATION DETAILS AND LOCATIONS

EXTERNAL SWING DOORS TO BE FITTED WITH DRAUGHT PROTECTION DEVICE TO BOTTOM EDGE OF EACH LEAF.

HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION 6A OF AS/NZS 3500.4.2 OR CLAUSE 3.38 OF AS/NZS 3500.5

GLAZING TO WINDOWS AND GLAZED DOORS AS PER ENERGY REPORT.



NOTE:
ALL WINDOWS TO UPPER LEVEL TO BE @ 2.4 HEAD HEIGHT (HH) UNLESS NOTED OTHERWISE



UPPER FLOOR PLAN
SCALE 1:100

DWELLING 1	
AREAS:	
LIVING - GROUND	100.52m²
LIVING - FIRST	105.52m²
ALFRESCO	17.64m²
GARAGE	26.61m²
PORTICO	2.24m²
TOTAL	252.53m²

DWELLING 2	
AREAS:	
LIVING - GROUND	88.32m²
LIVING - FIRST	106.11m²
ALFRESCO	14.94m²
GARAGE	27.31m²
PORTICO	2.15m²
TOTAL	238.83m²

DWELLING 3	
AREAS:	
LIVING - GROUND	99.32m²
LIVING - FIRST	105.80m²
ALFRESCO	17.64m²
GARAGE	27.36m²
PORTICO	2.15m²
TOTAL	252.27m²

AMENDMENTS		
REV	DATE	DESCRIPTION

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT

AT:
5 ATHOS PLACE
PARADISE, SA 5075

CURT
SOFIA TARELLI

DRAWN
F.B./G.D

DATE
SEP 2019

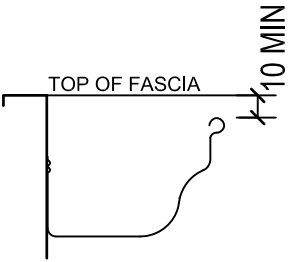
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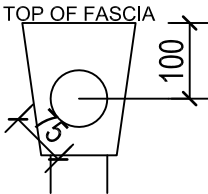
PROJECT No.
23.2018

SHEET No.
04 OF 18

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY



GUTTER DETAIL
N.T.S



BCA-P3,5,2,5 RAINHEADS
a. A 75mm DIAMETER HOLE IN THE OUTWARD FACE OF THE RAINHEAD; AND
b. THE CENTRELINE OF THE HOLE POSITIONED 100mm BELOW THE TOP OF THE FASCIA

NOTES

PROVIDE FLASHINGS, SEAL AND ADEQUATELY FLASH ALL PENETRATIONS, JUNCTIONS AND JOINTS. INSTALL ROOF DECK, FLASHINGS AND FITTINGS IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS AND DETAILS TO ENSURE A NEAT WEATHER TIGHT ROOF.

ZINCALUME PARAPET CAPPING TO THE TOP OF ALL PARAPET WALLS.

ALL EXTERNAL, EXPOSED FLASHINGS TO HAVE A ZINCALUME FINISH.

CO-ORDINATE INSTALLATION OF ROOF CLADDING WITH ALL SERVICES TO ALLOW FOR ANY PENETRATIONS.

EXTRA BRACING FOR SOLAR HOT WATER PANELS

- RWH SELECTED 'FIELDERS' OR EQUAL RAINWATER HEAD, GALVANISED FINISH.
- DP 90mm ROUND PVC DOWNPIPE
- B/G 350 WIDE x 100 DEEP ZINCALUME BOX GUTTER, WITH 1:200 GRADED FALL. ARROWS INDICATE DIRECTION OF FALL.
- SPD 90mm ROUND PVC DOWNPIPE WITH SPREADER END
- 2° KLIPLOK ROOF SHEETING AT 2° ROOF PITCH. ARROW INDICATES DIRECTION OF FALL.

AMENDMENTS			
REV	DATE	DESCRIPTION	DRAWN

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
AT:
5 ATHOS PLACE
PARADISE, SA 5075

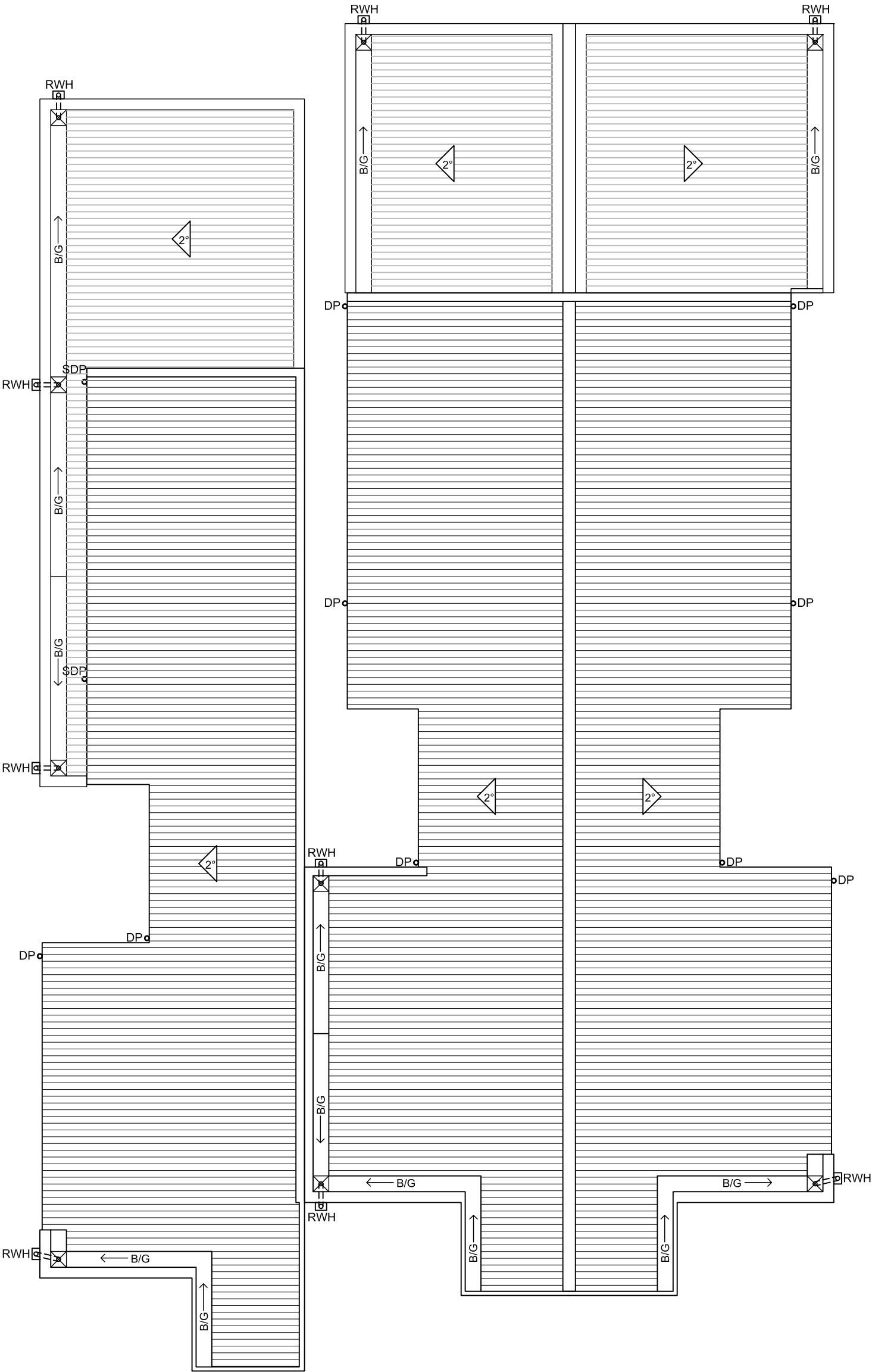
CLIENT
SOFIA TATARELLI

DRAWN
F.B./G.D.
SCALE
1:100@A3

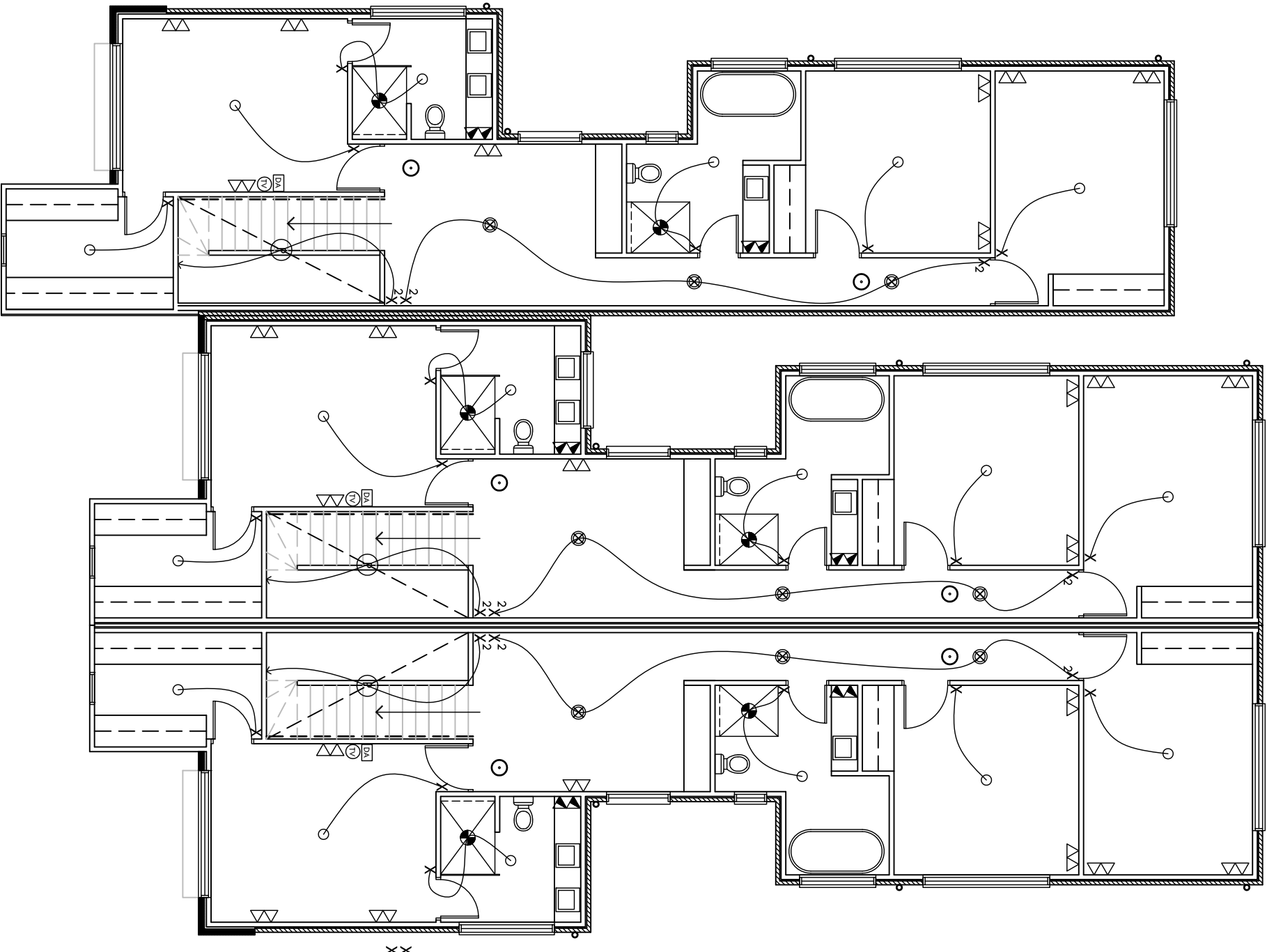
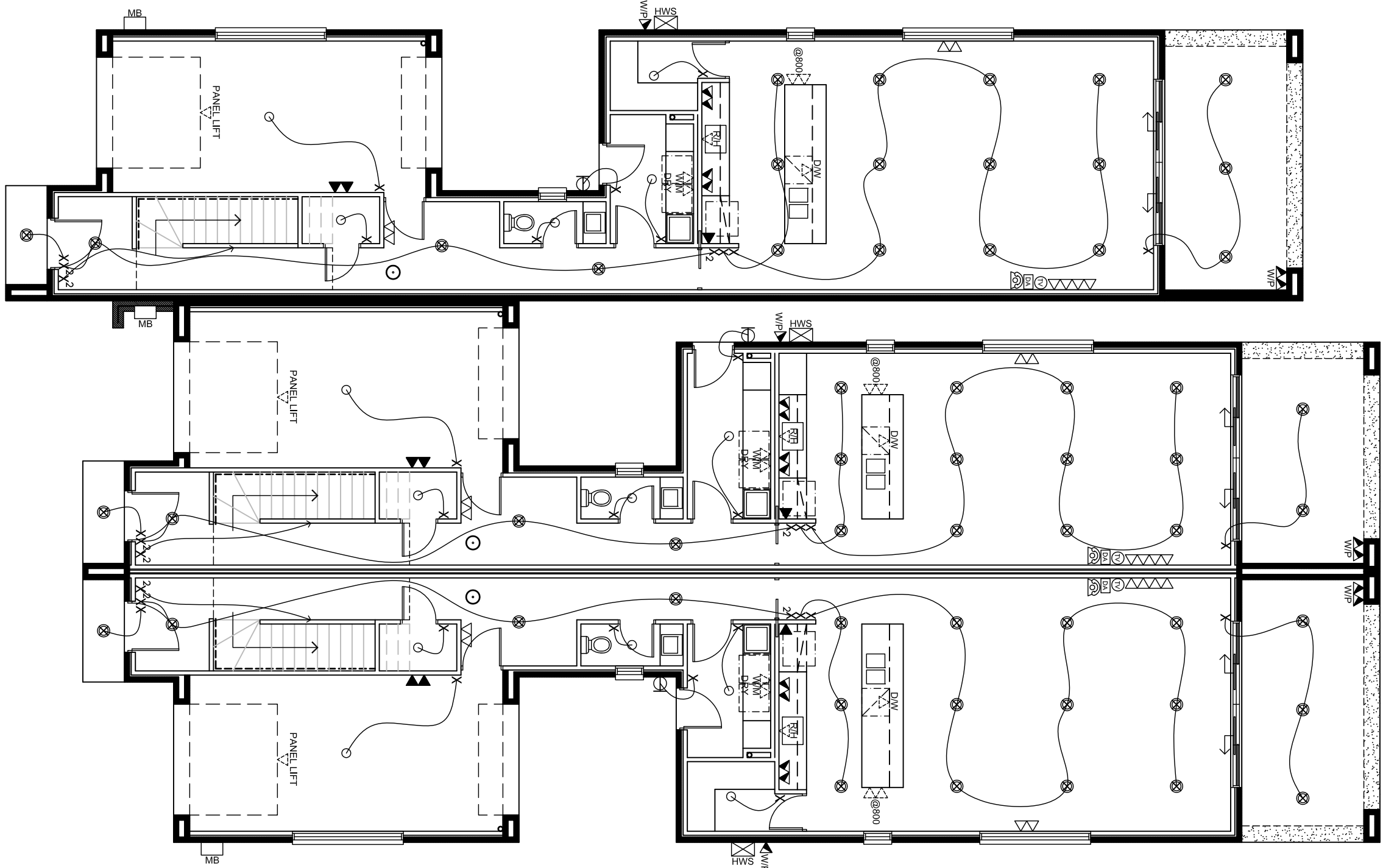
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SEP 2019
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PROJECT No.
23.2018
SHEET No.
05 OF 18

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS, FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY



ROOF PLAN
SCALE 1:100



NO.	ELECTRICAL LEGEND:
LOWER/UPPER/TOTAL	△ SINGLE G.P.O @ 200mm FFL
EACH DWELLING TBC	△△ DOUBLE G.P.O @ 200mm FFL
	▲ SINGLE G.P.O @ 1100mm FFL
	▲▲ DOUBLE G.P.O @ 1100mm FFL
	▲ SINGLE G.P.O @ 1400mm FFL
	▲▲ DOUBLE G.P.O @ 1400mm FFL
	△ SINGLE G.P.O AS SPECIFIED
	△△ DOUBLE G.P.O AS SPECIFIED
	X LIGHT SWITCH
	X 2-WAY LIGHT SWITCH (PAIR)
	X 3-WAY LIGHT SWITCH (SET)
	Ⓟ PENDANT LIGHT
	⊗ RECESSED LED LIGHT
	⊙ COMPACT FLURO
	○ BATTEN LIGHT
	⌒ STAIR LIGHT
	⌒ WALL MOUNTED LIGHTS
	⌒ IXL (4) (INCLUDES SWITCH)
	⌒ IXL (2) (INCLUDES SWITCH)
	⌒ EXHAUST FAN
	⌒ T.V. POINT
	⌒ TELEPHONE
	⌒ DATA POINT
	⌒ CEILING FAN WITH LIGHT
	✂ CEILING FAN WITHOUT LIGHT

MS DENOTES MOTION SENSOR CONNECTED TO LIGHTS

WIP DENOTES WATER PROOF EXTERNAL G.P.O

⊙ DENOTES SMOKE DETECTOR HARD WIRED IN ACCORDANCE WITH AS 3786

NOTE: ALL SMOKE ALARMS TO BE INTERLINKED

NOTE: MECHANICAL VENTILATION TO WET AREAS WITH NO NATURAL VENTILATION BE CONNECTED TO LIGHT SWITCH

NOTE: MECHANICAL VENTILATION TO W/C/BATH/DRY/KITCHEN WITH NO NATURAL VENTILATION BE CONNECTED TO LIGHT SWITCH. MIN. FLOW RATE OF 25L/S IN BATH/W/C AND 40L/S IN KITCHEN/DRY. DISCHARGE VIA SHAFT TO OUTDOOR AIR OR VENTILATED ROOF SPACE (REFER TO BCA-P2.4.5 FOR VENTILATED ROOF SPACE REQUIREMENTS).

REV	DATE	DESCRIPTION	DRAWN

SPECTRA

SUITE 1/118 PART ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2186

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
AT
5 ATHOS PLACE
PARADISE, SA 5075

CLIENT
SORIA TATARELI

DRAWN
F.B./G.D.
SEP 2019
SCALE
1:100@A2
PROJECT No.
23.2018
SHEET No.
06 OF 18

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK ON THE PROJECT. ANY DISCREPANCIES OR INCONSISTENCIES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND DIMENSIONS SHOWN ON THE DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY.

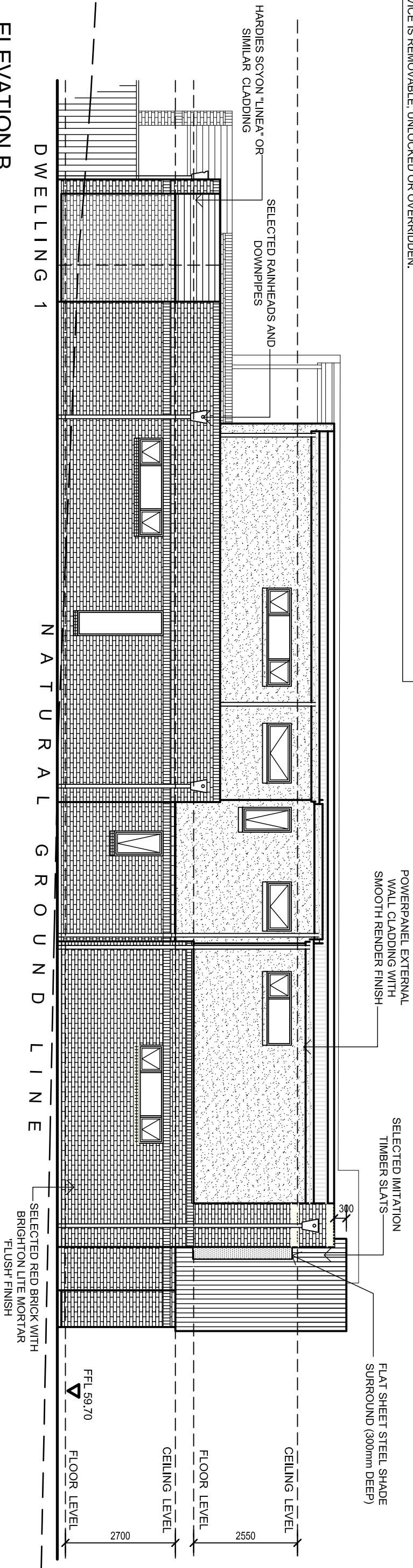
LOWER ELECTRICAL (TYPICAL)
SCALE 1:100

UPPER ELECTRICAL (TYPICAL)
SCALE 1:100

NOTE:
FOR OPERABLE WINDOWS WHERE THE FLOOR BELOW IS 2000mm OR MORE ABOVE THE SURFACE LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1700mm ABOVE THE FLOOR THE WINDOW MUST BE PROTECTED WITH THE

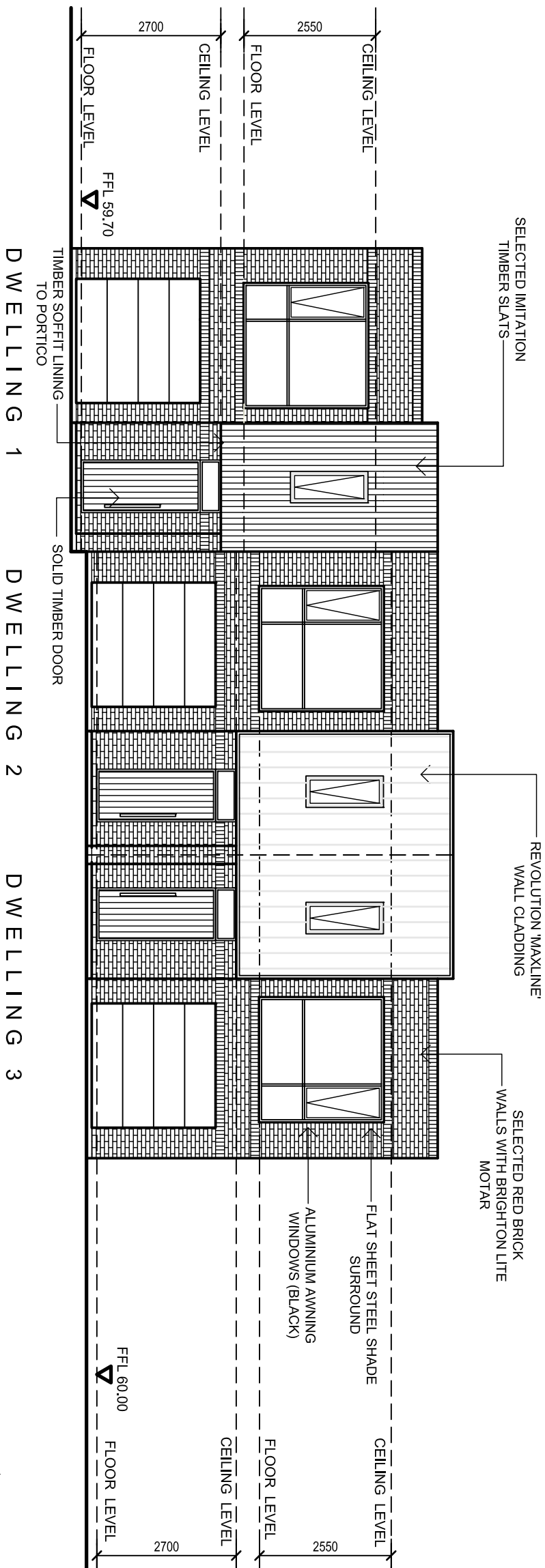
NOTE:
FOR OPERABLE WINDOWS WHERE THE FLOOR BELOW IS 2000mm OR MORE ABOVE THE SURFACE LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1700mm ABOVE THE FLOOR THE WINDOW MUST BE PROTECTED WITH THE FOLLOWING:

- A DEVICE CAPABLE OF RESTRICTING WINDOW OPENING TO NOT PERMIT A 125mm SPHERE TO PASS THROUGH; OR A SCREEN WITH SECURE FITTINGS CAPABLE OF RESISTING A HORIZONTAL ACTION OF 250N AGAINST THE WINDOW RESTRAINED BY DEVICE OR SCREEN PROTECTING THE OPENING; AND HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS REMOVABLE, UNLOCKED OR OVERRIDDEN.



ELEVATION B


SCALE 1:100



ELEVATION A

SCALE 1:100

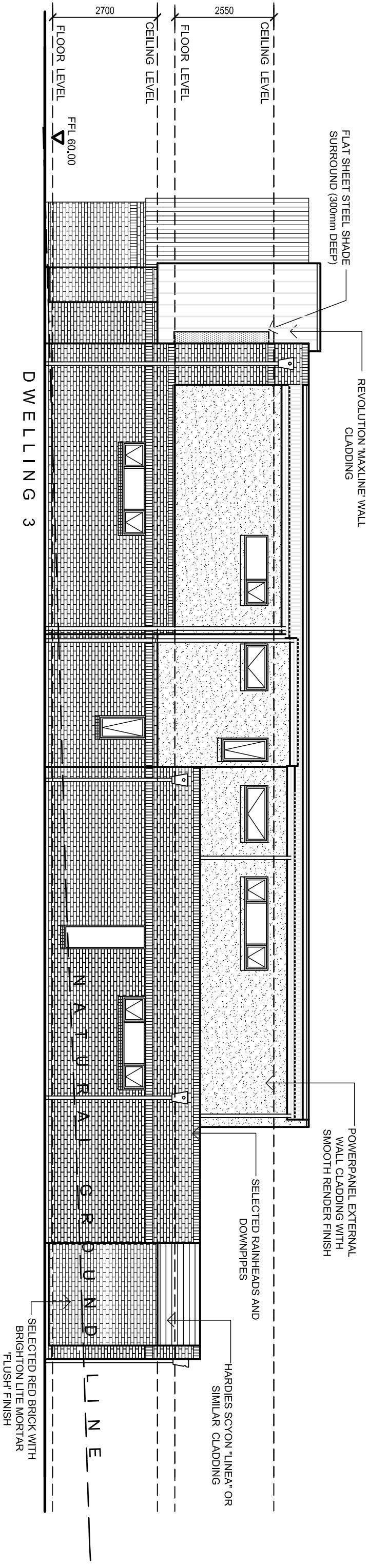
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<p>PROJECT</p> <p>PROPOSED RESIDENTIAL DEVELOPMENT</p> <p>AT:</p> <p>5 ATTHOS PLACE PARADISE, SA 5075</p>	<p>SUITE 1 / 159 PORT ROAD HINDMARSH SA 5007 T: 8338 2211 F: 83382188</p>
<p>CLIENT</p> <p>SOHIA TATARELLI</p>	<p>DATE</p> <p>SEP 2019</p>
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<p>SCALE</p> <p>1:100@A3</p>	<p>SHEET No.</p> <p>07 OF 18</p>
<p>PROJECT No.</p> <p>23.2018</p>	

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY

NOTE:
FOR OPERABLE WINDOWS WHERE THE FLOOR BELOW IS 2000mm OR MORE ABOVE THE SURFACE LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1700mm ABOVE THE FLOOR THE WINDOW MUST BE PROTECTED WITH THE FOLLOWING:

- A DEVICE CAPABLE OF RESTRICTING WINDOW OPENING TO NOT PERMIT A 125mm SPHERE TO PASS THROUGH; OR
- A SCREEN WITH SECURE FITTINGS CAPABLE OF RESISTING A HORIZONTAL ACTION OF 250N AGAINST THE WINDOW RESTRAINED BY DEVICE OR SCREEN PROTECTING THE OPENING; AND HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS REMOVABLE, UNLOCKED OR OVERRIDDEN.



ELEVATION D

SCALE 1:100



ELEVATION C

SCALE 1:100

AMENDMENTS		
REV	DATE	DESCRIPTION

SPECTRA

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T : 83 98 2211 F : 83 38 2188

PROJECT

PROPOSED RESIDENTIAL DEVELOPMENT

AT

3 ATHOS PLACE
PARADISE, SA 5075

CLIENT

SOFIA TATARELLI

DRAWN

F.B./G.D

DATE

SEP 2019

SCALE

1:100@A3

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PROJECT No. 23.2018

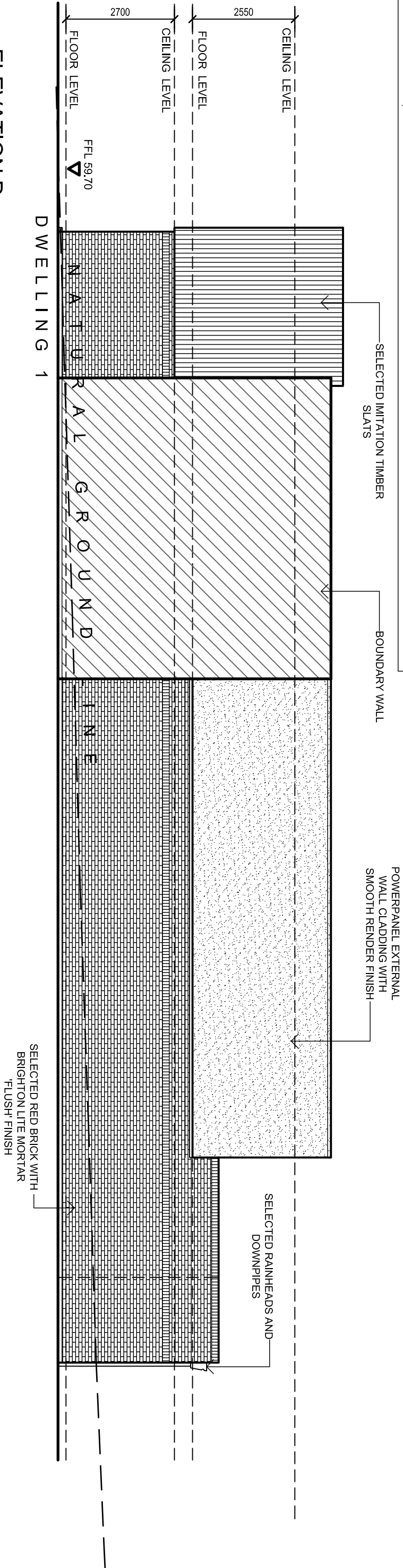
SHEET No.

08 OF 18

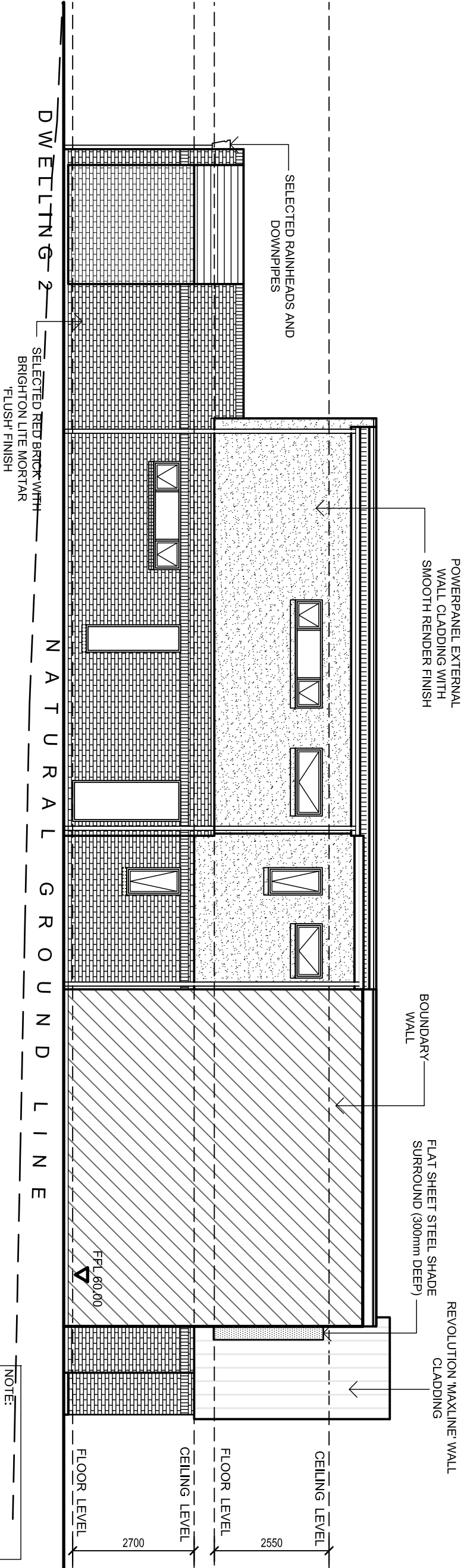
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ELEVATION D
SCALE 1:100



ELEVATION B
SCALE 1:100

NOTE:
ALL UPPER FLOOR WINDOWS TO BE @ 2400HH UNLESS OTHERWISE NOTED. OBSCURE GLAZING TO MINIMUM 1700HH TO ALL UPPER WINDOWS (EXCLUDING STREET FACING)

AMENDMENTS		
REV	DATE	DESCRIPTION

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T : 83 98 2211 F : 83 38 2188

PROJECT

PROPOSED RESIDENTIAL DEVELOPMENT

AT

3 ATHOS PLACE
PARADISE, SA 5075

CLIENT

SOFIA TATARELLI

DRAWN

FB/GJD

DATE

SEP 2019

SCALE

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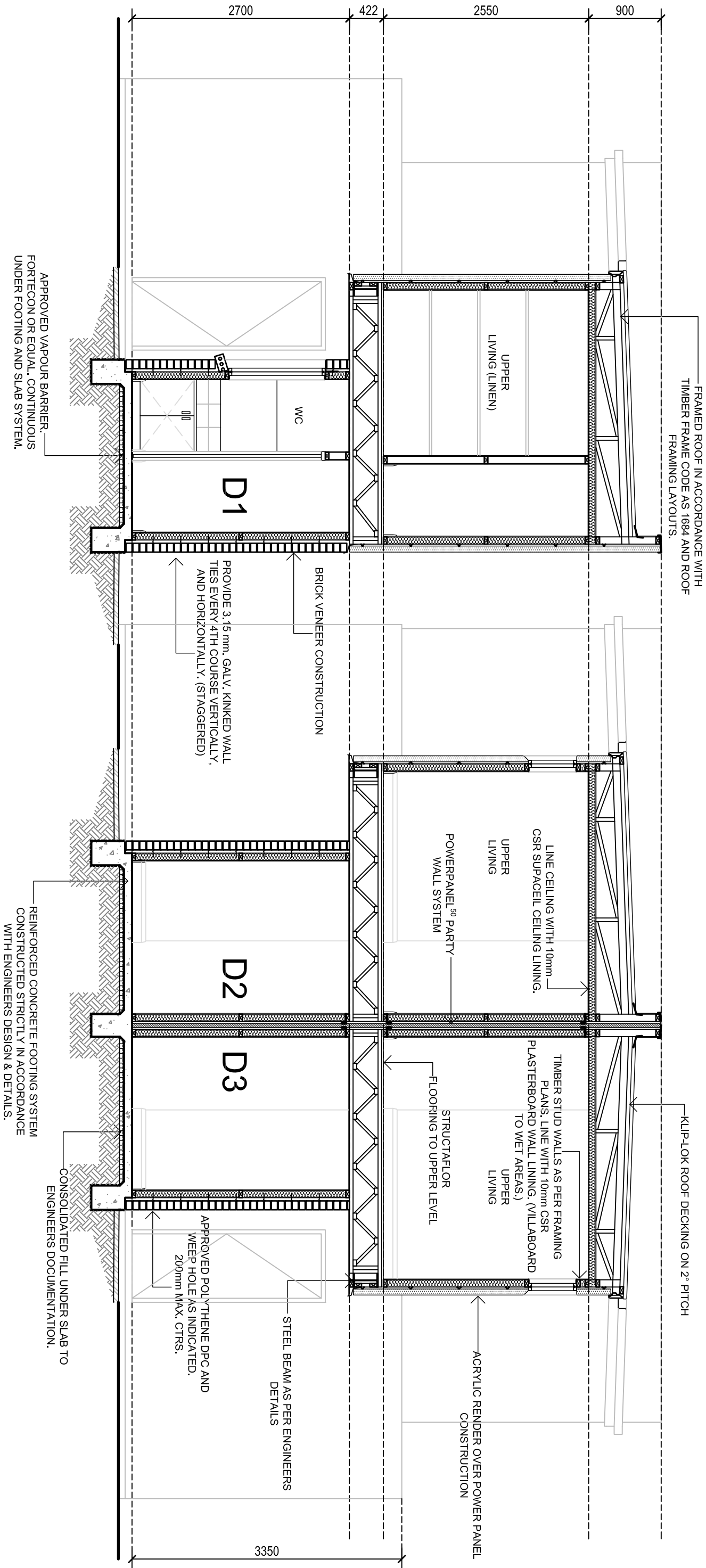
PROJECT No.

23.2018

SHEET No.

09 OF 18

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. REQUIRED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY



SECTION A-A
SCALE 1:50

AMENDMENTS		
REV	DATE	DESCRIPTION

SPECTR

CLIENT
SOFIA TATARELU

DRAWN
HIND MARSH SA 5007
T: 8338 2211 F: 8338 2188

DATE
SEP 2019

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
5 ATHOS PLACE
PARADISE, SA 5075

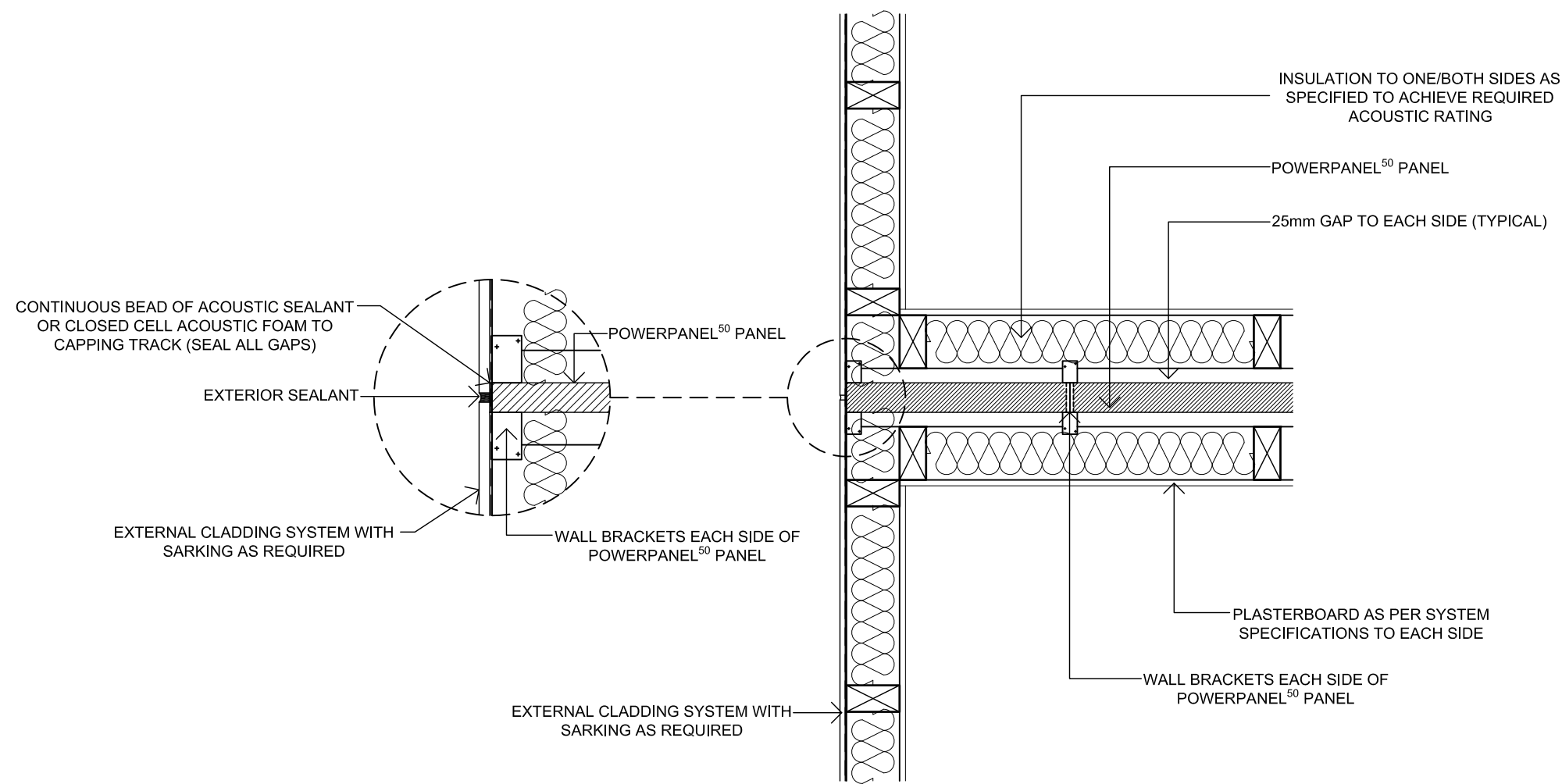
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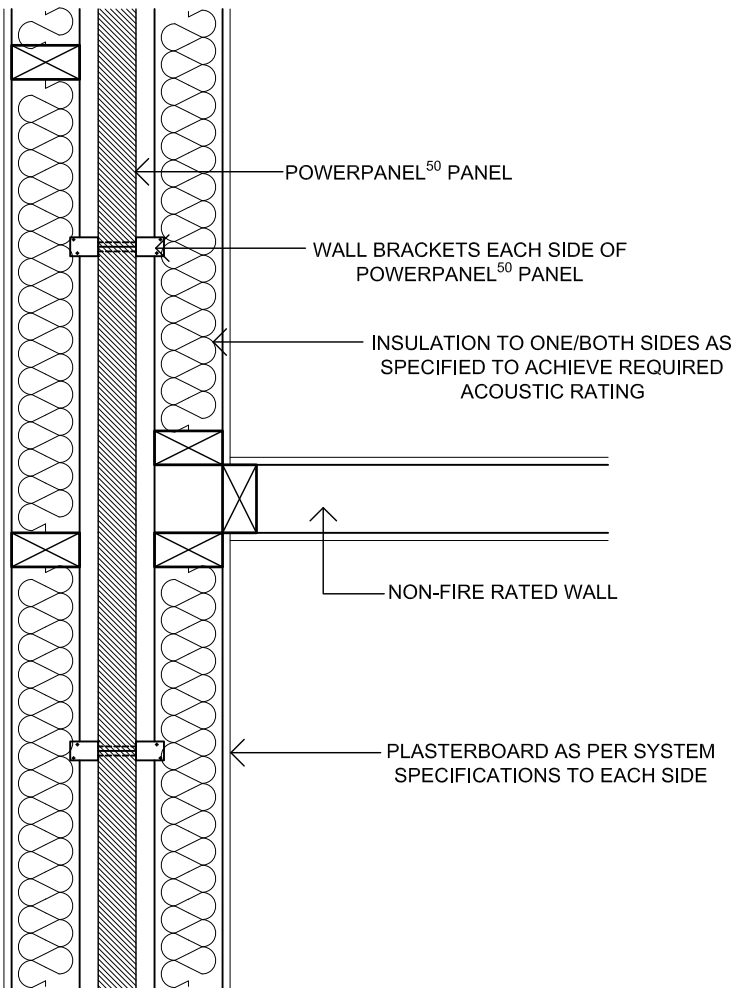
SHEET No.
10 OF 18

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND
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POWER PANEL⁵⁰ PARTY WALL TO
LIGHTWEIGHT CLAD WALL - JUNCTION DETAIL

FRL 60/60/60
SCALE 1:10



POWER PANEL⁵⁰ PARTY WALL TO
INTERNAL WALL - JUNCTION DETAIL

FRL 60/60/60
SCALE 1:10

AMENDMENTS			
REV	DATE	DESCRIPTION	DRAWN

SPECTRA

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

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AT:
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PARADISE, SA 5075

CLIENT
SOFIA TATARELLI

DRAWN
F.B./G.D.

DATE
SEP 2019

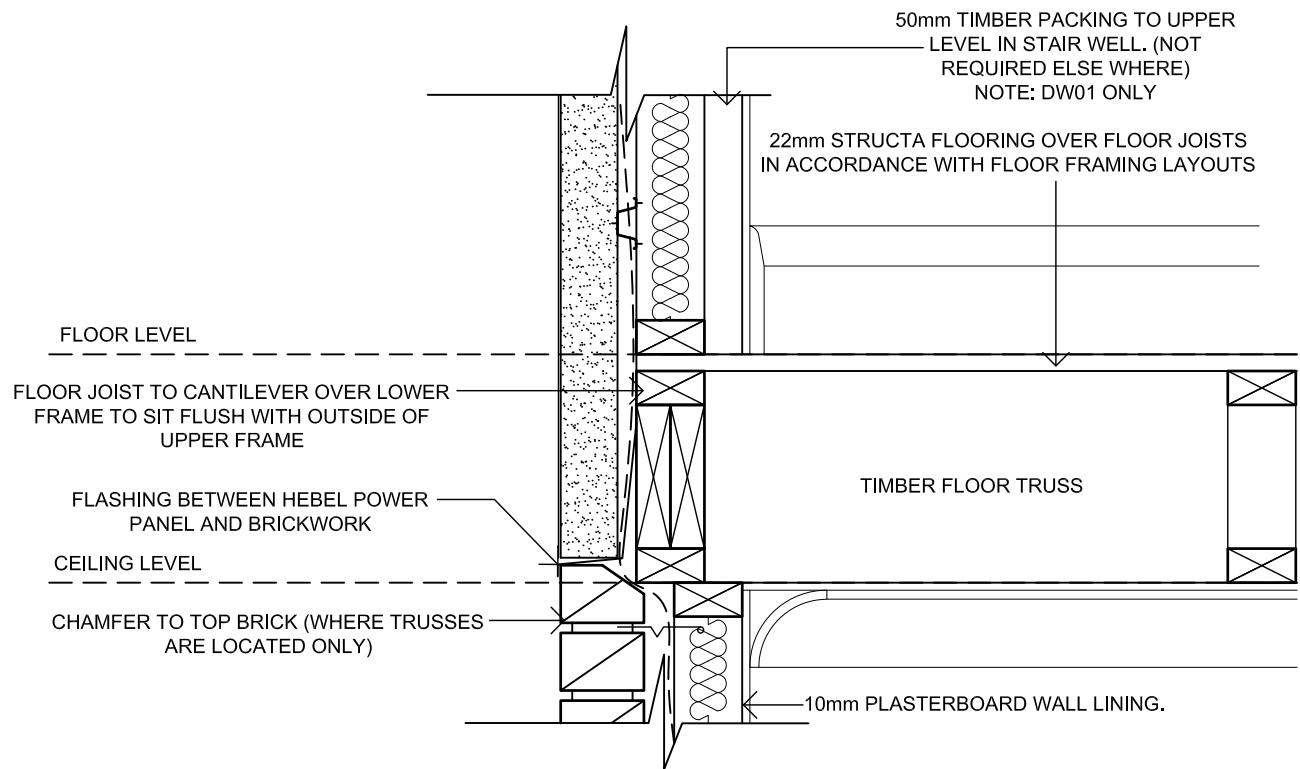
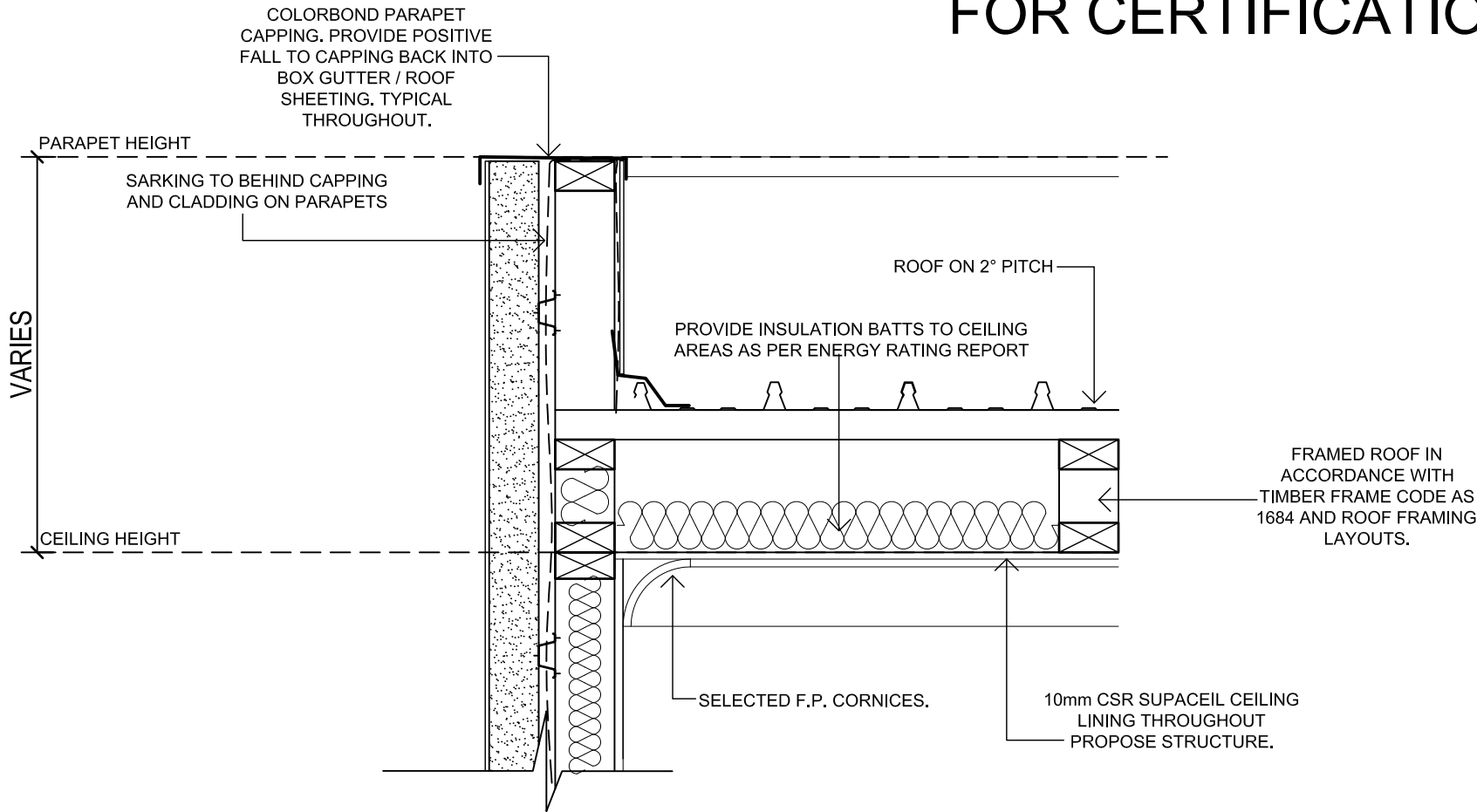
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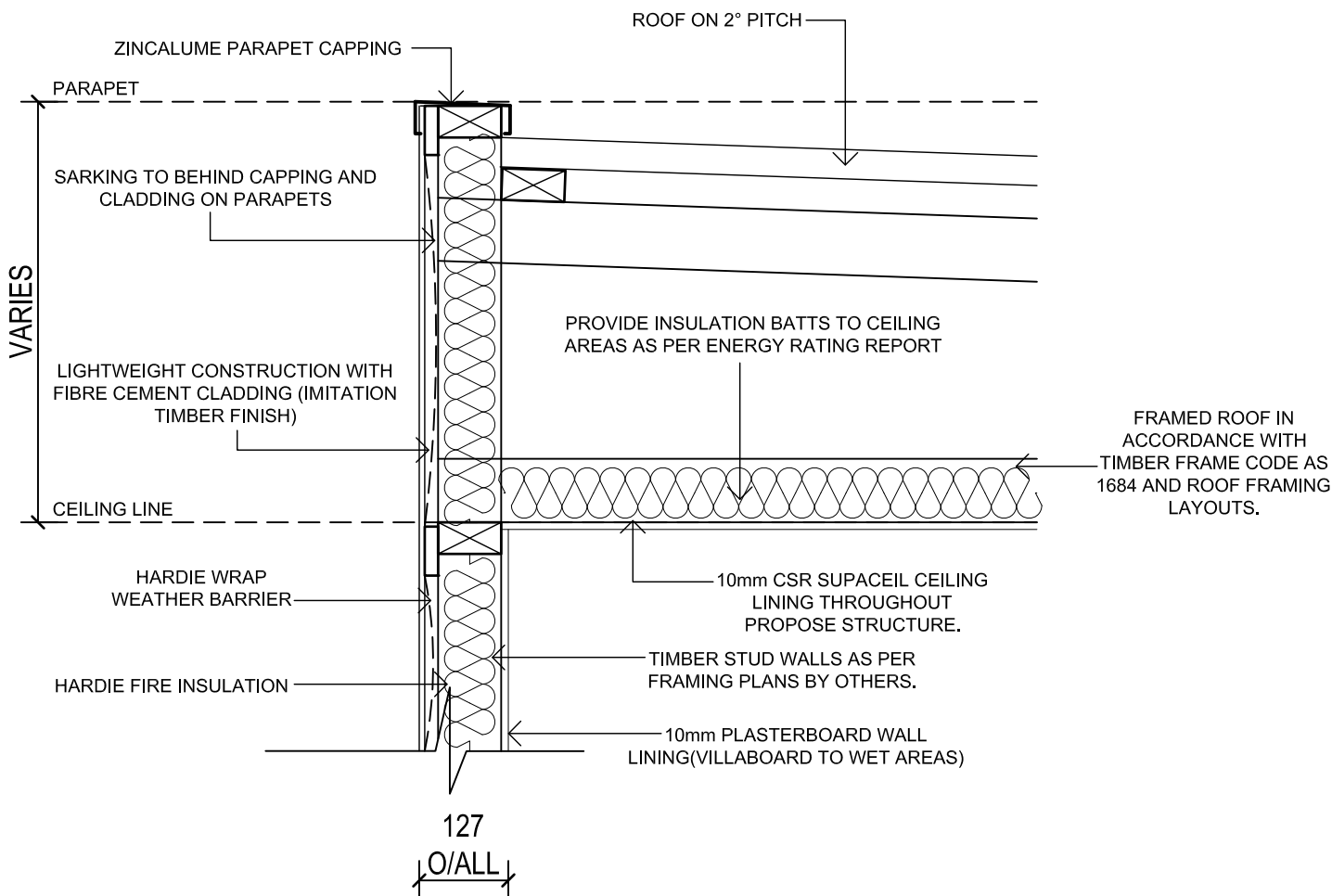
PROJECT No.
23.2018

SHEET No.
12 OF 18

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY



HEBEL WALL SECTION
SCALE 1:10



PARAPET/WALL DETAIL (HARDIE SMART BOUNDARY WALL)

FRL 60/60/60
SCALE 1:10

AMENDMENTS			
REV	DATE	DESCRIPTION	DRAWN

SPECTRA

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT

AT:
5 ATHOS PLACE
PARADISE, SA 5075

CLIENT
SOFIA TATARELLI

DRAWN
F.B./G.D.

DATE
SEP 2019

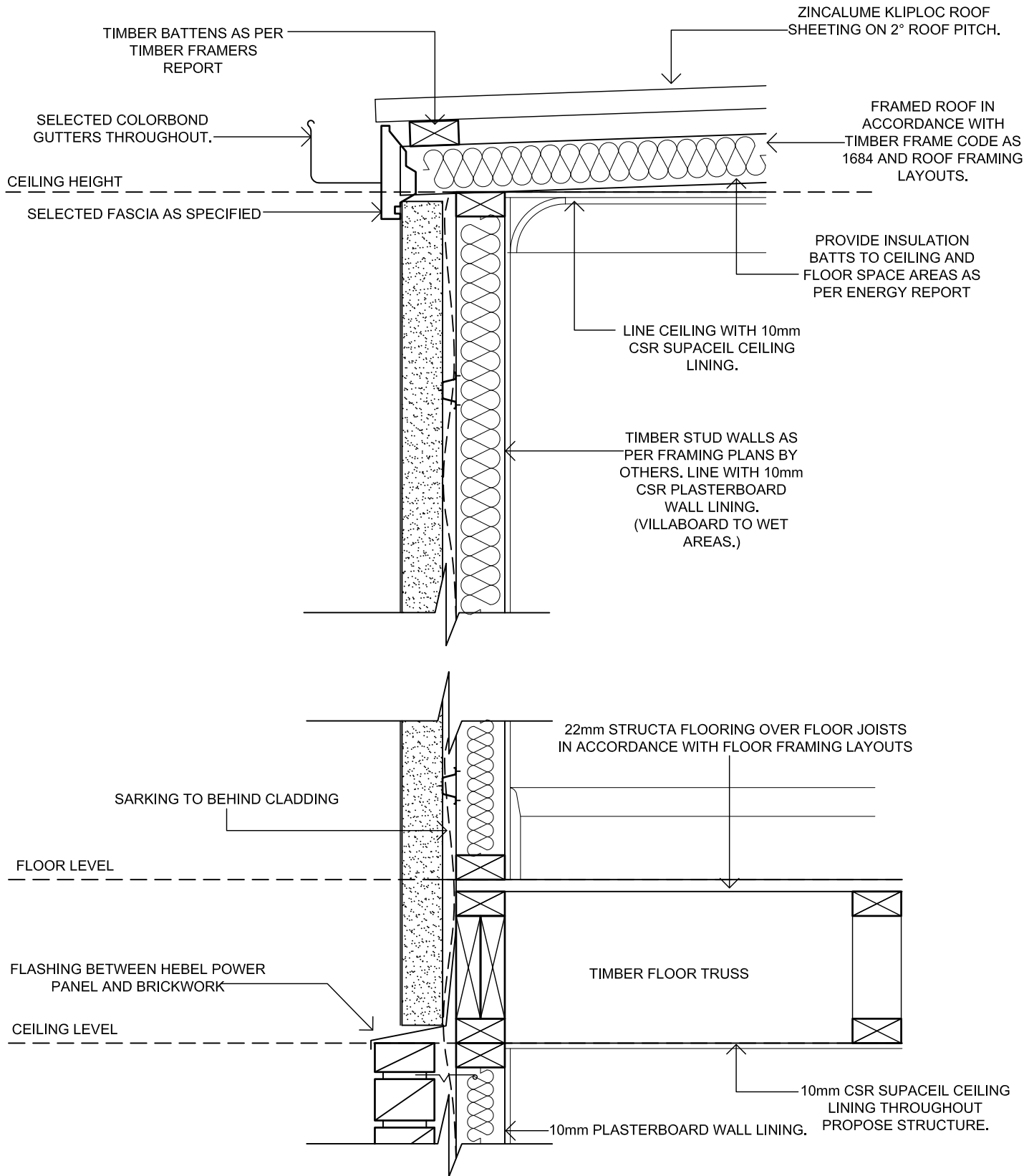
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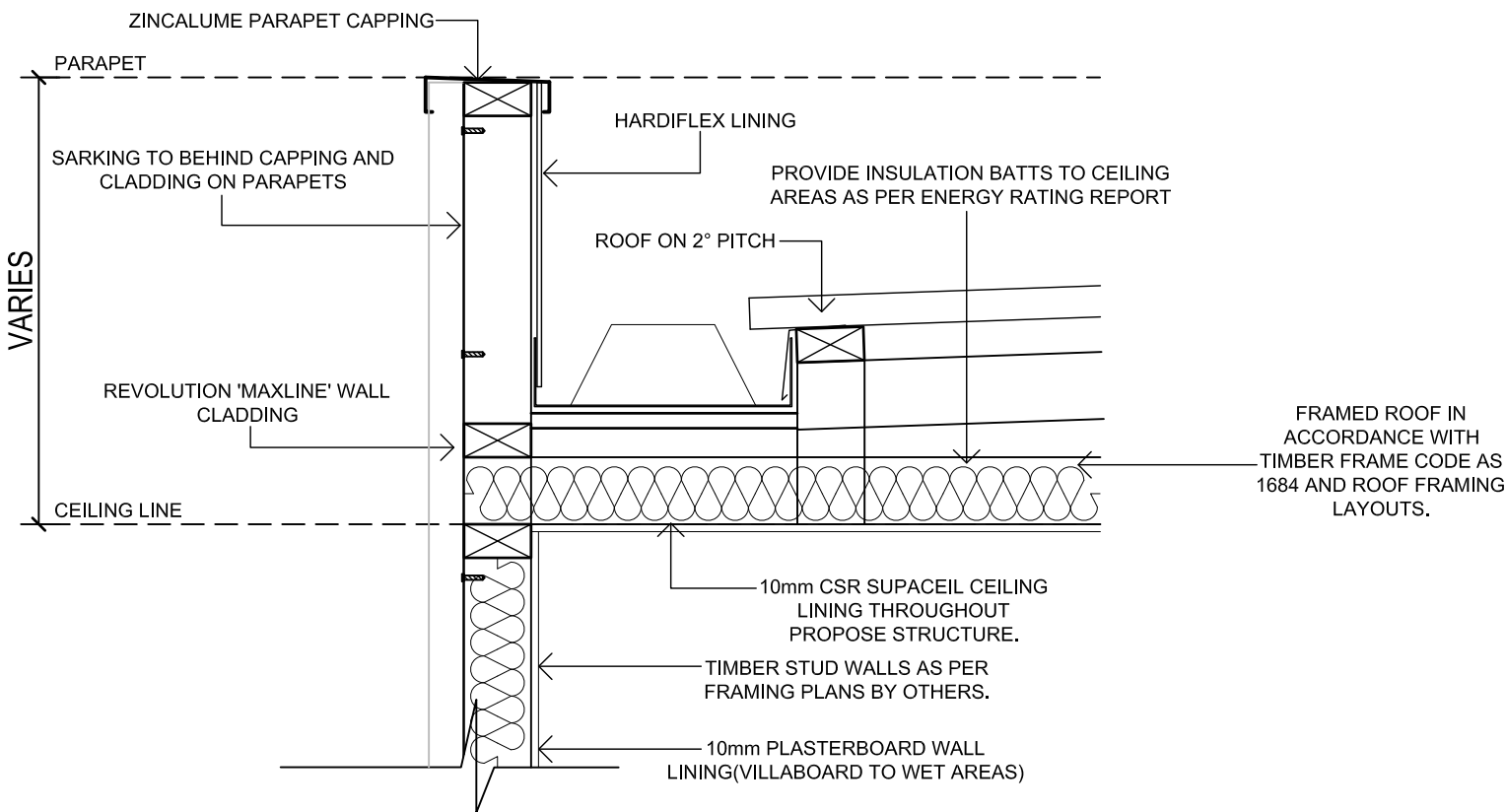
PROJECT No.
23.2018

SHEET No.
13 OF 18

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY



HEBEL WALL DETAIL
SCALE 1:10



PARAPET DETAIL (LIGHTWEIGHT)
SCALE 1:10

AMENDMENTS			
REV	DATE	DESCRIPTION	DRAWN

SPECTRA

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT

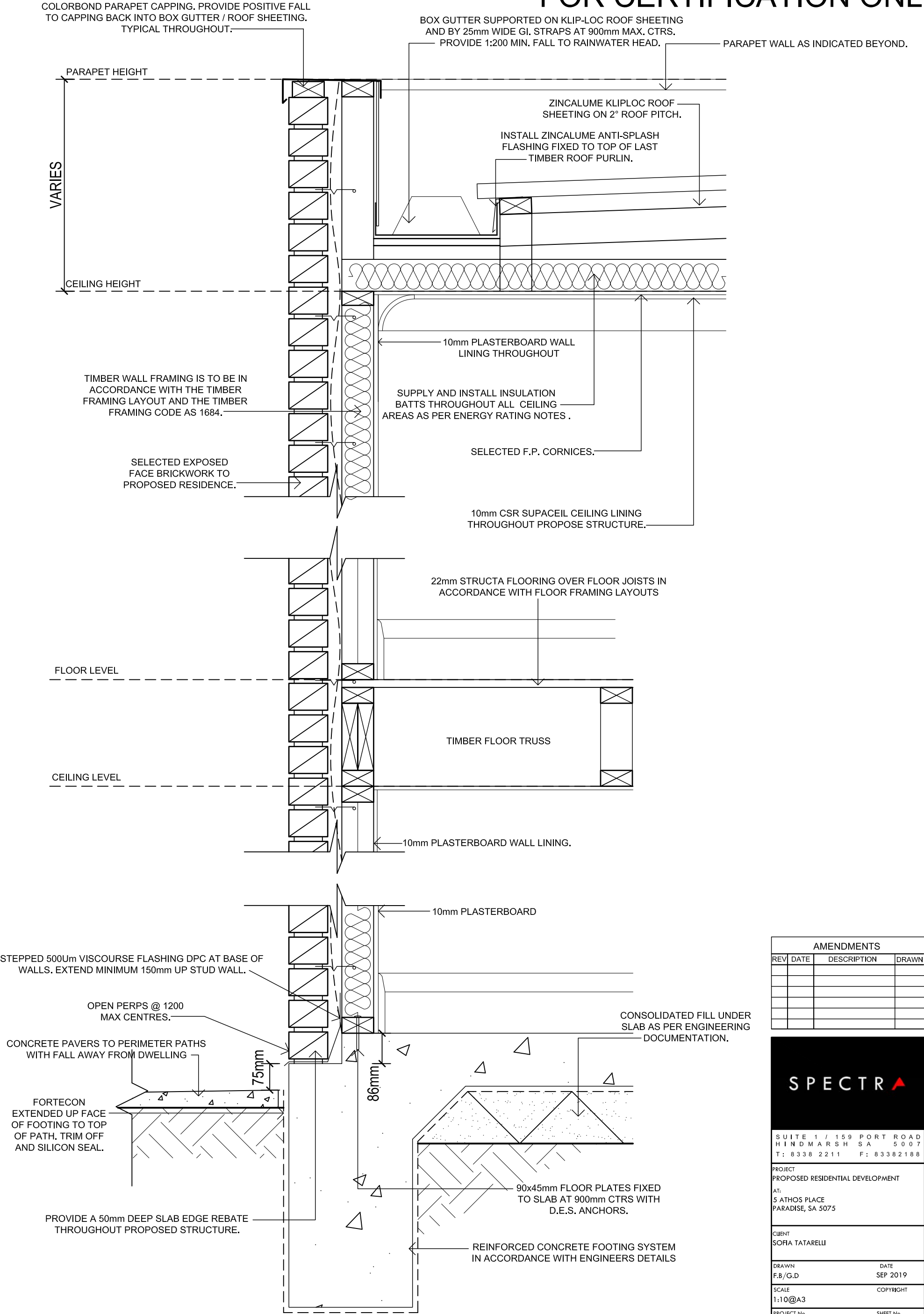
AT:
5 ATHOS PLACE
PARADISE, SA 5075

CLIENT
SOFIA TATARELLI

DRAWN F.B./G.D	DATE SEP 2019
SCALE 1:10@A3	COPYRIGHT

PROJECT No. 23.2018	SHEET No. 14 OF 18
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CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS, FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY



BRICK VENEER WALL SECTION
SCALE 1:10

AMENDMENTS			
REV	DATE	DESCRIPTION	DRAWN

SPECTRA

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T : 8338 2211 F : 8338 2188

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT

AT:
5 ATHOS PLACE
PARADISE, SA 5075

CLIENT
SOFIA TATARELLI

DRAWN
F.B./G.D.

DATE
SEP 2019

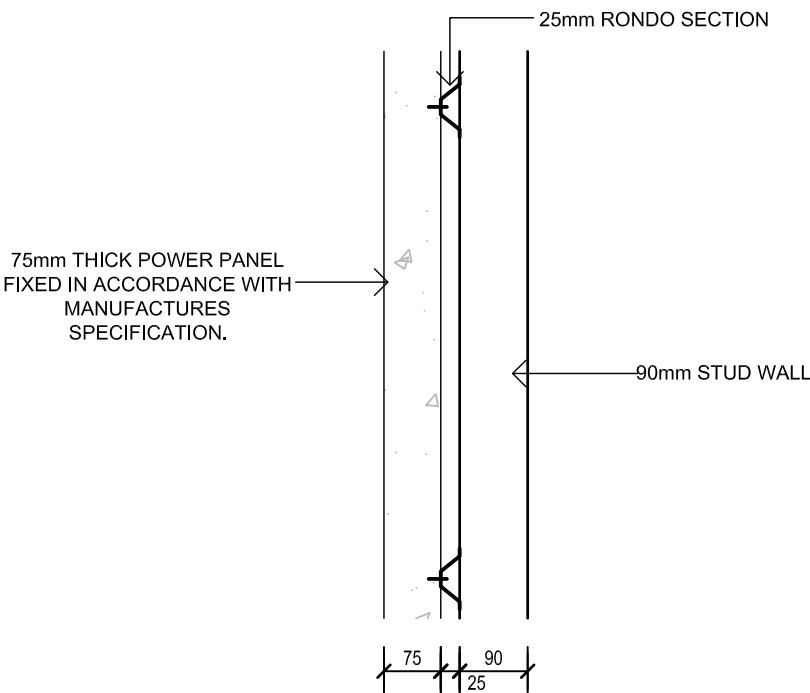
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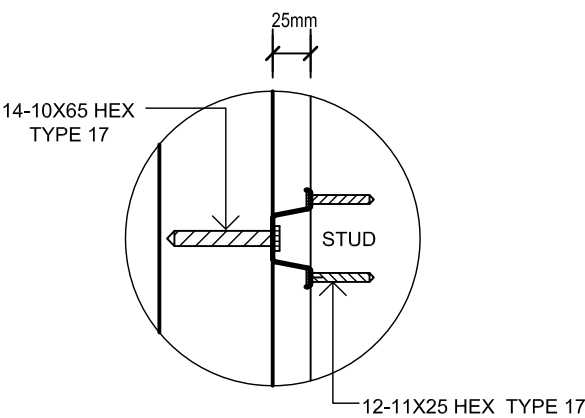
PROJECT No.
23.2018

SHEET No.
15 OF 18

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS, FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY

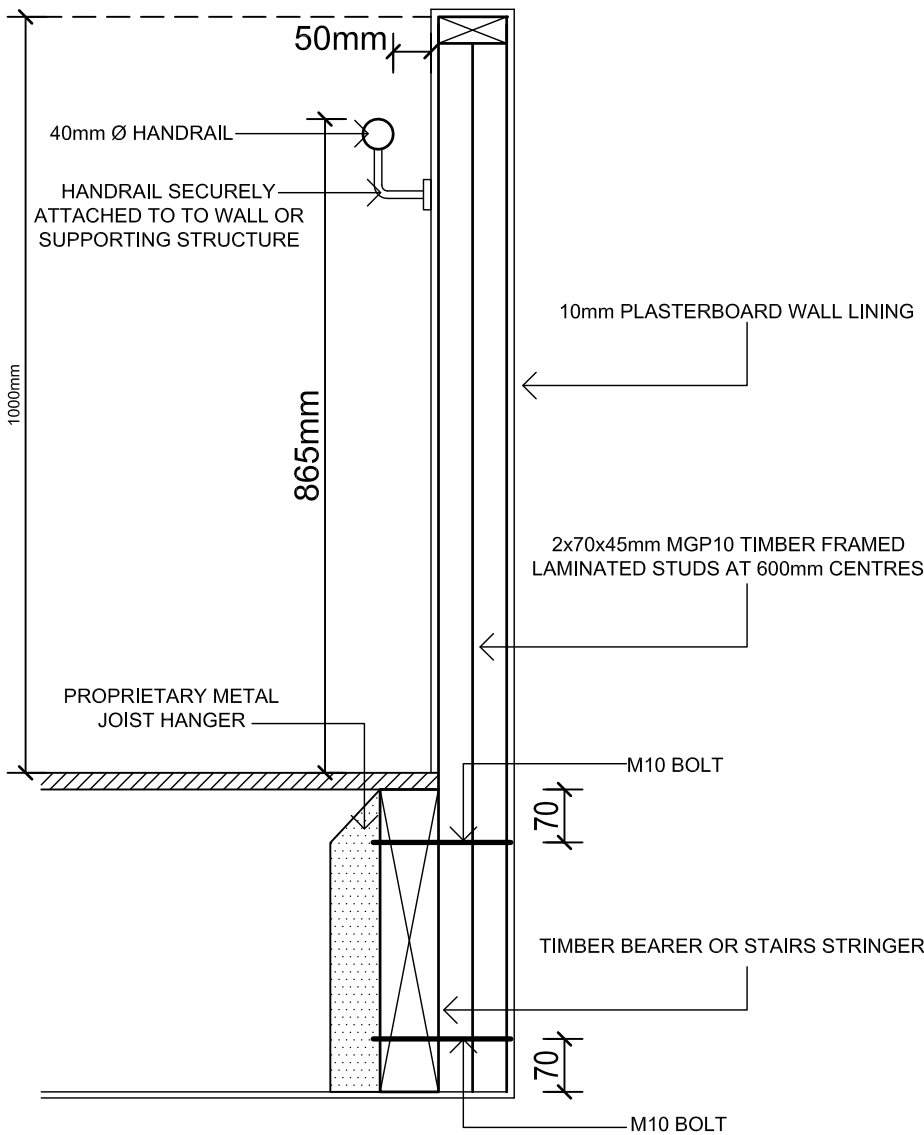


POWER PANEL SECTION
SCALE 1:10



POWER PANEL TOP HAT DETAIL
SCALE 1:5

NOTE: CONTROL JOINTS TO POWER
PANEL AREAS TO BE IN ACCORDANCE
WITH MANUFACTURERS
SPECIFICATIONS AND DETAILS



INTERNAL BALUSTRADE SECTION DETAIL
SCALE 1:10

AMENDMENTS			
REV	DATE	DESCRIPTION	DRAWN

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T : 8338 2211 F : 8338 2188

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
AT:
5 ATHOS PLACE
PARADISE, SA 5075

CLIENT
SOFIA TATARELLI

DRAWN
F.B/G.D

DATE
SEP 2019

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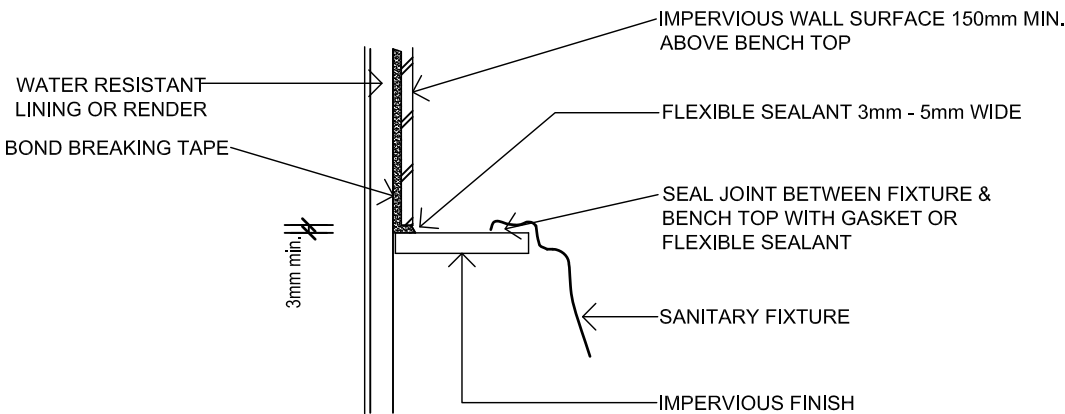
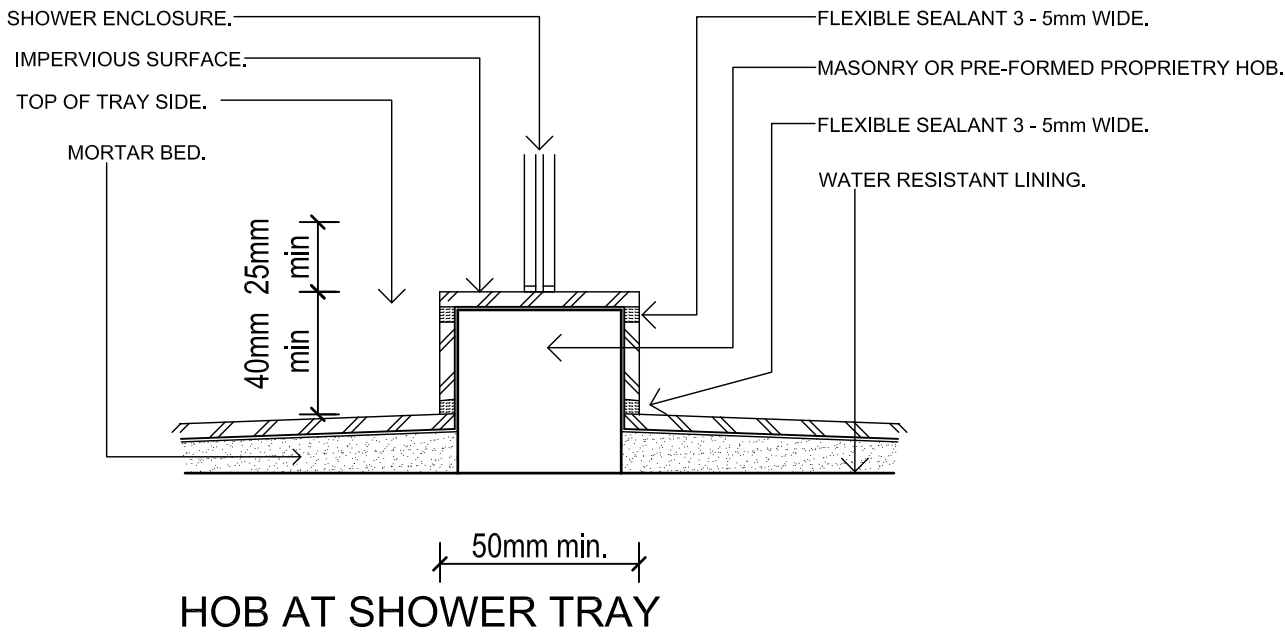
PROJECT No.
23.2018

SHEET No.
16 OF 18

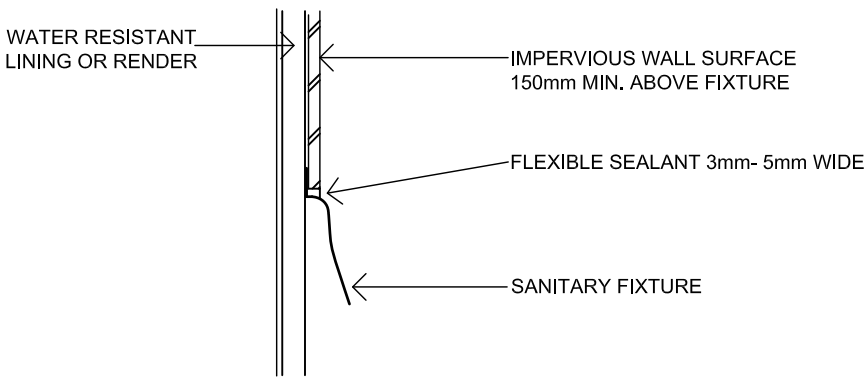
CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND
LEVELS ON SITE BEFORE COMMENCING ANY WORK OR
MAKING SHOP DRAWINGS, FIGURED DIMENSIONS
SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS
AND ANY DISCREPANCY SHALL BE REPORTED TO THE
DESIGNERS IMMEDIATELY

DETAILS

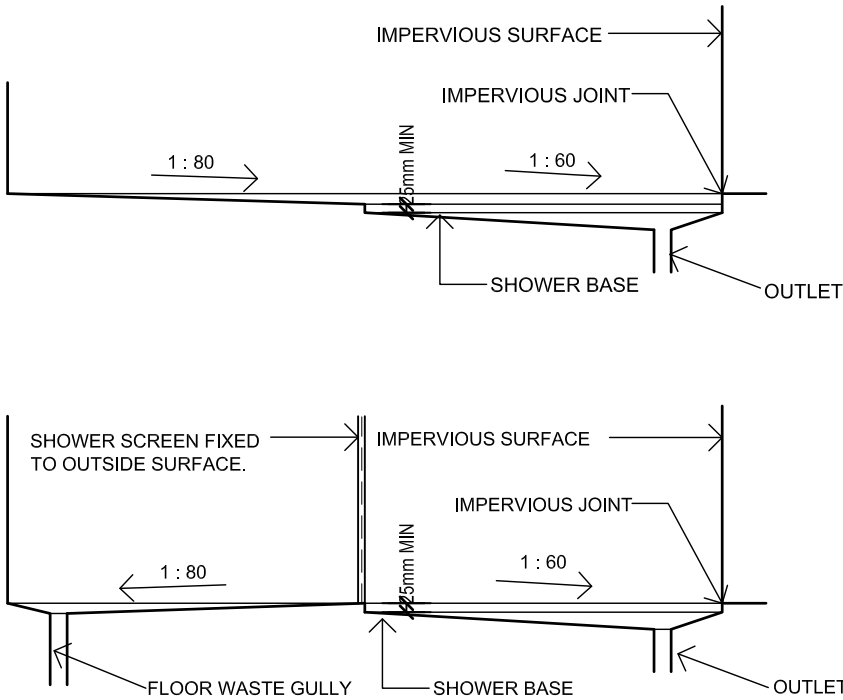
N.T.S



IMPERVIOUS JUNCTION OF FIXTURE & IMPERVIOUS WALL



IMPERVIOUS JUNCTION OF FIXTURE & IMPERVIOUS WALL



SHOWER BASE SETDOWNS & FLOOR GRADIENTS

AMENDMENTS			
REV	DATE	DESCRIPTION	DRAWN

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T : 8338 2211 F : 8338 2188

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
AT:
5 ATHOS PLACE
PARADISE, SA 5075

CLIENT
SOFIA TATARELLI

DRAWN
F.B/G.D

DATE
SEP 2019

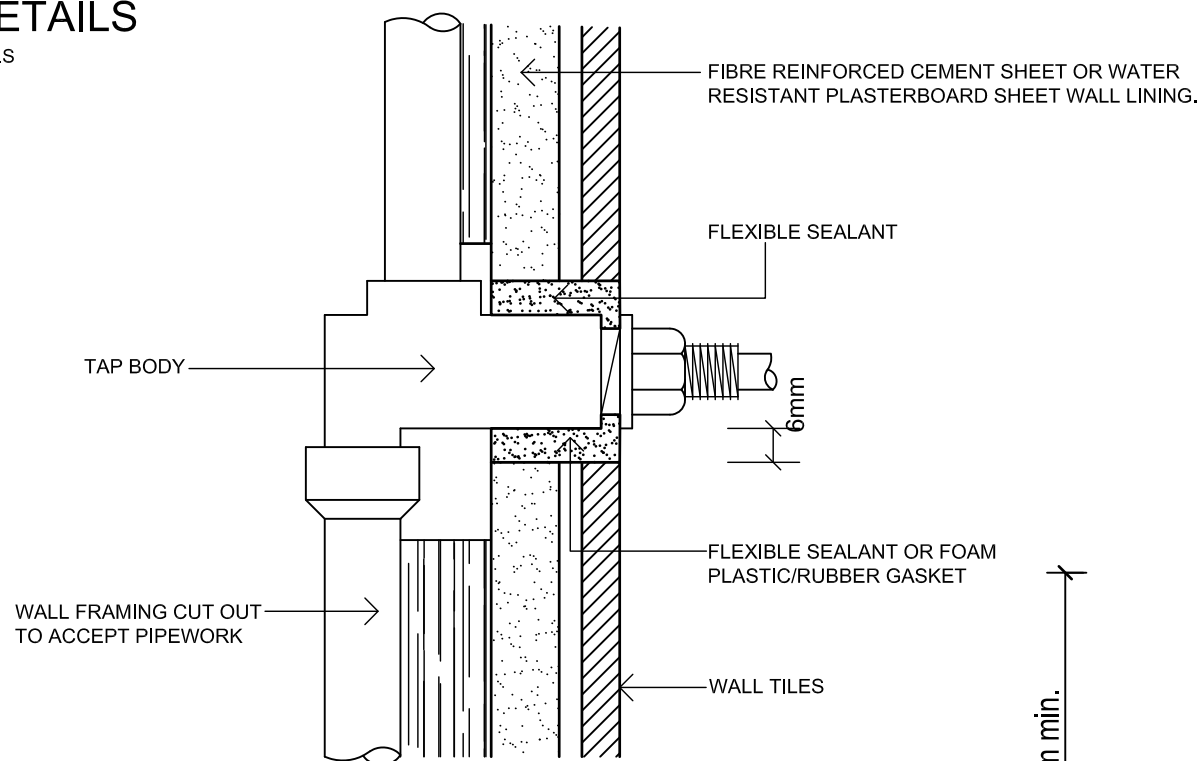
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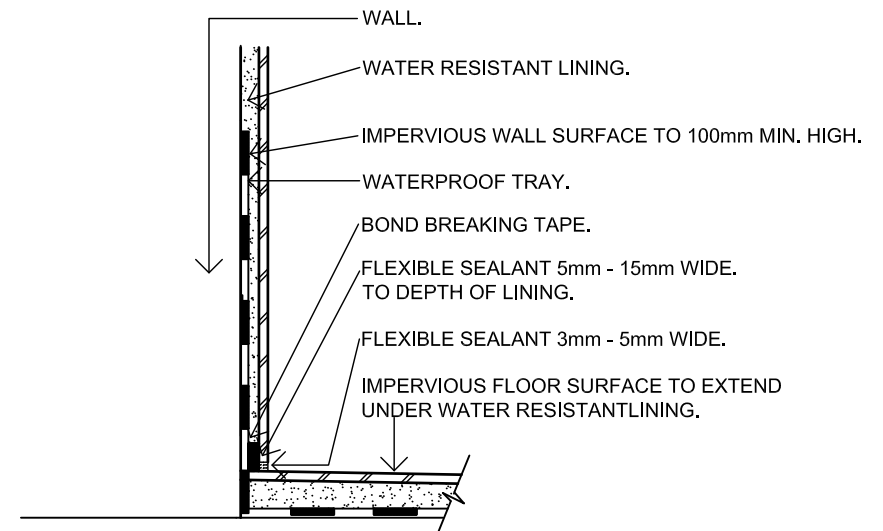
PROJECT No.
23.2018

SHEET No.
17 OF 18

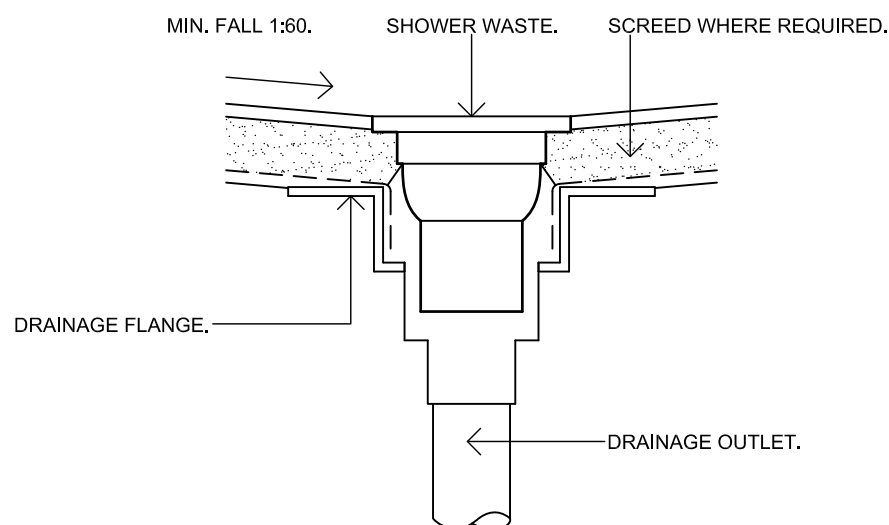
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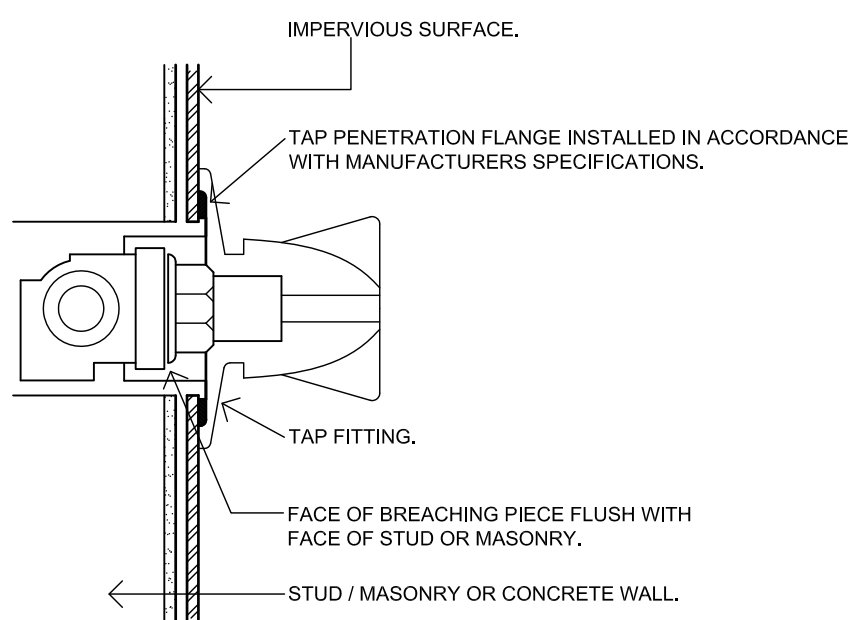
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(CATEGORY 2)



DETAILS OF FLOOR / SHOWER TRAP



PENETRATIONS THROUGH WALLS IN SHOWER AREA

[illegible]SPECTRA 

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT
AT:
5 ATHOS PLACE
PARADISE, SA 5075

CLIENT
SOFIA TATARELLI

DRAWN	DATE
F.B/G.D	SEP 2019

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PROJECT No.	SHEET No.
23.2018	18 OF 18

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